



EAST AYRSHIRE COUNCIL

Local Development Plan 2

Loudoun Castle and Estate

Supplementary Guidance

2025

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1 Introduction and Background

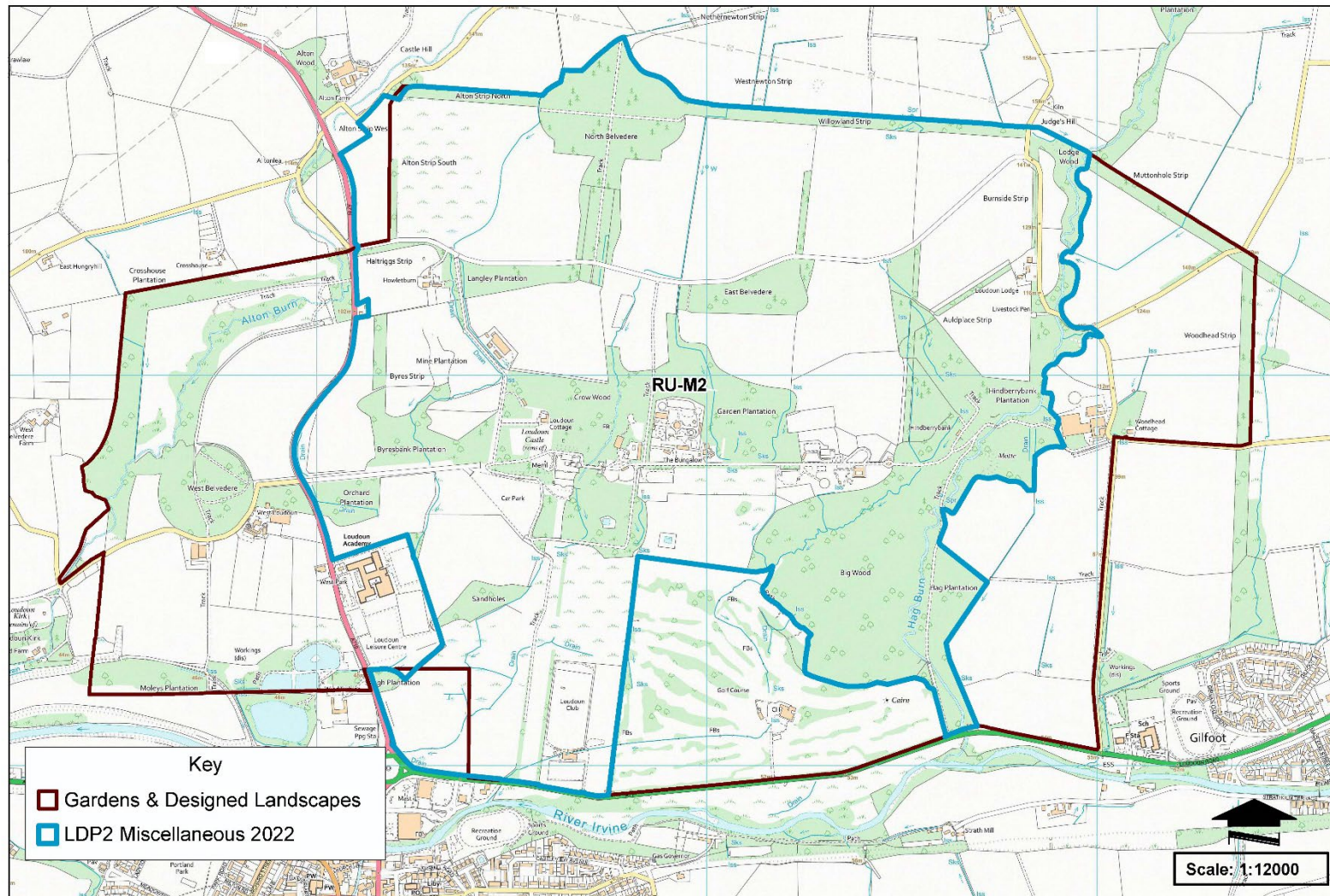
1. INTRODUCTION / BACKGROUND

Loudoun Caste Estate, as identified by the miscellaneous development opportunity site RU-M2 (See Figure 1), provides a prime tourism development opportunity on a large redevelopment site close to the M77, to the north of Galston and approximately 6.5 kilometres to the east of Kilmarnock. The site lies immediately to the north of the A71 and east of the A719.

The appropriate and sympathetic development of this site is supported by the Council as it has the potential to bring significant positive environmental, economic and social benefits to East Ayrshire and the wider area while safeguarding the future of important national historical assets. It is recognised that all development proposals will result in competing considerations between the positive effects that the development will bring and the potential detrimental impacts that the development will have on the landscape within which it is set. A balance between the environmental, economic and social impacts of the development and the value and capacity of the heritage assets must be reached.

Until around 2009, the Loudoun Estate accommodated a theme park, some of which remains on site. Areas of the site are brownfield in nature.

Figure 1 – RU-M2 Site Allocation and Loudoun Garden and Designed Landscape



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1.1. Purpose of planning guidance

East Ayrshire Local Development Plan 2, together with any statutory and non-statutory Planning Guidance, sets out the policies and criteria against which any planning application submitted in East Ayrshire will be considered.

This Supplementary Guidance (SG) sets out detailed policy advice to help applicants and users of the Plan meet the requirements of the Plan. It should be read in conjunction with the policies in the Plan and any other Planning Guidance relevant to the type of development proposed. The purpose of this SG is to expand on LDP2 Policy **TOUR6: Loudoun Castle Estate Garden and Designed Landscape**. The guidance provides further information on site assets, constraints and application requirements to help guide any development proposals, to create a balanced and sympathetic development which contributes positively to the sites heritage value, while creating an attractive, desirable and accessible development.

1.2. How to use this guidance

This guidance is intended as a tool help any applicant navigate their way through the requirements of **Policy TOUR6: Loudoun Castle Estate Garden and Design Landscape** of the Local Development Plan 2, with regards to its appropriate and sensitive future development.

Official

2 Policy Context

2. POLICY CONTEXT

This section of the Guidance sets out the local and national policy context relating to the RU-M2 designation. Any subsequent proposal will need to accord with the provision of these policies as a whole.

2.1. Local Development Plan 2

Local Development Plan 2 (LDP2) now forms that most up to date document within the policy framework for East Ayrshire. LDP2 was adopted on 8 April 2024.

The LDP2 represents the Council's settled view on how East Ayrshire should be developed over the next 10-20 years, as well as indicating where development should and should not occur. The LDP is proactive in supporting the creation of successful places.

2.1.1. Aims and Spatial Strategy

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The development of RU-M2 is a key issue for East Ayrshire and is embedded within the Spatial Strategy (Paragraph 76-77; page 39) The LDP2 recognises the value that Loudoun Castle Estate and associated Garden and Designed Landscape has culturally as well its potential impact on the tourism sector and our economy. Realising the economic potential of the site is of strategic importance to both the Irvine Valley and wider East Ayrshire economy.

To achieve this the Council will:

- Through miscellaneous opportunity site RU-M2 and Policy TOUR6 support the development of the site for tourism, leisure and tourist accommodation purposes, as a means of safeguarding the future of the Estate;
- Encourage development within those areas of the site considered to be least sensitive and most suitable for the above development uses (tourism, leisure, tourist accommodation); and
- Support development (of the above uses) that is sympathetic to the heritage value and landscape character of the site.

2.1.2. TOUR6: Loudoun Castle Estate Garden and Designed Landscape

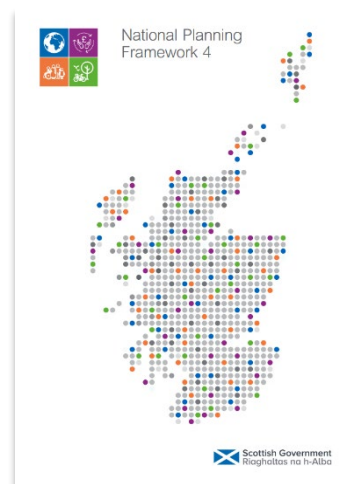
Policy TOUR6 is a site specific policy which sets the Council's expectations for the development of RU-M2. This can be viewed in full in **Appendix 1** and pages 120-127 of Volume 1 of [LDP2](#).

LDP2 contains a suite of other applicable policies which any proposal will need to accord with. These are set out within **Appendix 2**.

2.2. National Planning Framework 4 (NPF4)

National Planning Framework 4 (NPF4) sets the national spatial strategy for Scotland as well as national planning policy. NPF4 contains a suit of applicable policies which seek to protect and enhance the natural and built environment, including:

- 1 – Tackling the climate and nature crises
- 2 – Climate mitigation and adaption
- 3 – Biodiversity
- 4 – Natural Places
- 6 - Forestry, woodland and trees
- 7 – Historic Assets and Places
- 9 – Brownfield, vacant and derelict land and empty buildings
- 12 – Zero Waste
- 13 – Sustainable transport
- 14 – Design, Quality and Place
- 15 - Local Living and 20 minute neighbourhoods
- 16 - Quality homes
- 17 - Rural homes
- 18 – Infrastructure First
- 20 – Blue and green infrastructure
- 21 – Play, recreation and sport
- 22 – Flood risk and water management
- 24 – Digital Infrastructure
- 29 – Rural development
- 30 – Tourism
- 31 – Culture and creativity



As outlined above, LDP2 represents the most up to date policy document and its policy content takes precedence over NPF4 in East Ayrshire.

3 Loudoun Castle Estate Garden and Designed Landscape

3. LOUDOUN CASTLE ESTATE GARDEN AND DESIGNED LANDSCAPE

The Loudoun Castle estate sits in a wide valley setting with the River Irvine to the south, and sloping hills to the north and south. The estate comprises a ruinous early 19th century Country house incorporating earlier castle fabric, walled garden, surrounding cottages, plantations and pastureland. It is included in Historic Environment Scotland's Inventory of Gardens and Designed Landscapes in Scotland, meeting the criteria for national importance as set out in [Historic Environment Policy for Scotland \(HEPS, 2019\)](#) in addition to which it contains a number of listed buildings and archaeological sites. The scheme is amongst the most important of the period encompassing grand avenues, allées, planting, and belvederes. Much survives, albeit to varying extents. The castle is in a ruinous, deteriorating condition.

The Estate is of national importance in terms of Scotland's historic environment, contributing to our cultural heritage as it is of historic, horticultural, architectural, archaeological, scenic and nature conservation value. Inventory Gardens and Designed Landscapes enrich the texture and pattern of our landscape, forming a record of social, cultural and economic change through time.



Figure 2 – 19th Century view from Southwest (Future Museums/East Ayrshire Council)

3.1. Overview of the History of Loudoun Castle

The majority of the current Category A listed castle dates to between 1804 and 1811 but incorporates a fifteenth or sixteenth century tower and a later south range of 1622. The early 19th Century design was by the acclaimed architects Archibald and James Elliot, masters of the castellated gothic style. While the influence of Robert Adam's use of the castellated garb

on the essentially classical form at Culzean, Wedderburn and Dalquharran preceded the Elliot's work, they would develop the idea and create their own distinctive style. Substantial ground works were undertaken, including the Renaissance bastioned terrace with bowed outlook point and the perroned ramp to the principal entrance. The architects also accentuated the taller tower, thus providing a commanding view from the central avenues and raising the castle as a viewing platform.

In 1941, the Castle suffered from a fire which damaged a section of the building. Until 1941, the Castle was occupied as a residential dwelling.

3.2. Overview of the History of GDL

Originating in the sixteenth century and illustrating a remarkable plan-form of the type inspired by the great houses of Europe, the designed landscape is evidence of Scotland's international standing.

The alignment of the principal (and slightly offset) east-west avenue with the medieval motte at Hinderrybank to the east, and with Loudoun Kirk as a terminal element to the west, and the relationship of the estate's landscape to that at Cessnock Castle, demonstrate the strong topographical evolution of the landscape. The plan form or footprint of the work, the enduring features, from the 17th Century up until the Nasmyth and Elliot additions to the estate in the early 19th Century is immediately apparent despite changes to the trees and shrubs that articulate the features. See Figure 3:



Figure 3 – Roy's Military Map of 1752-1755 (Source: PDA; National Library of Scotland)

The avenues as mapped in 1752 (See Figure 3) terminate at sites which lay claim to a complex range of historic and contemporary associations, implying that what is generally understood to be McGill's Mar-influenced design had been retained. The views emphasised

historic references, including natural historic references, as well as agricultural and industrial improvement.

The east avenues likely highlight Loudoun Hill and Hareshaw Hill, focal points for the valley to the east.

The Northern Belvedere and extended avenue encourages views towards the moorland to the north, including Cameron's Moss and Whitelee Hill. They also make clear historical allusions to other surrounding castles and estates.

In the early 19th Century, the 2nd Earl of Moira employed Alexander Nasmyth as a landscape consultant and he brought his artistic sensibilities to the design of Loudoun between 1803 and 1806, described by A. A. Tait as 'a theatrical set-piece'. The 19th Century estate design concepts of increased privacy, leisure and the isolation of the aristocratic residence from industry and commerce can be clearly traced within this increased concern with deliberately archaic theatricality. For example, MacKinley's 19th Century print of Loudoun depicts the castle in a cleared space against a dramatic Gothic backdrop of heavy planting, with a tree-lined river beneath a theatrical bridge.

3.3. Loudoun Castle Estate – Now

3.3.1. Loudoun Castle

Substantial areas of masonry are failing, whilst others exhibit endemic loss of the mortar matrix and severe structural movement. The remaining sections of the east tower and the south-eastern portions of the fabric give particular cause for concern. The Castle remains to be of notable historic value and the Council consider there to be potential in the remaining fabric and positively encourage its stabilisation and consolidation.



West Elevation (PDA; 2016/2017)



South-eastern Elevation (PDA; 2016/2017)



South Elevation (EAC 2024)



Front elevation from south-west corner
(EAC 2024)

3.3.2. Inventory Garden and Designed Landscape

The design of Loudoun Castle estate is constructed around viewing circles, avenues and mounts creating an interconnecting series of 'views'. Often constructed to be viewed both from within and outwith the estate, in the case of Loudoun, the Campbell family's extensive holdings across the Irvine valley seems to have led to an emphasis on the extent of the estate and its rich historical past.

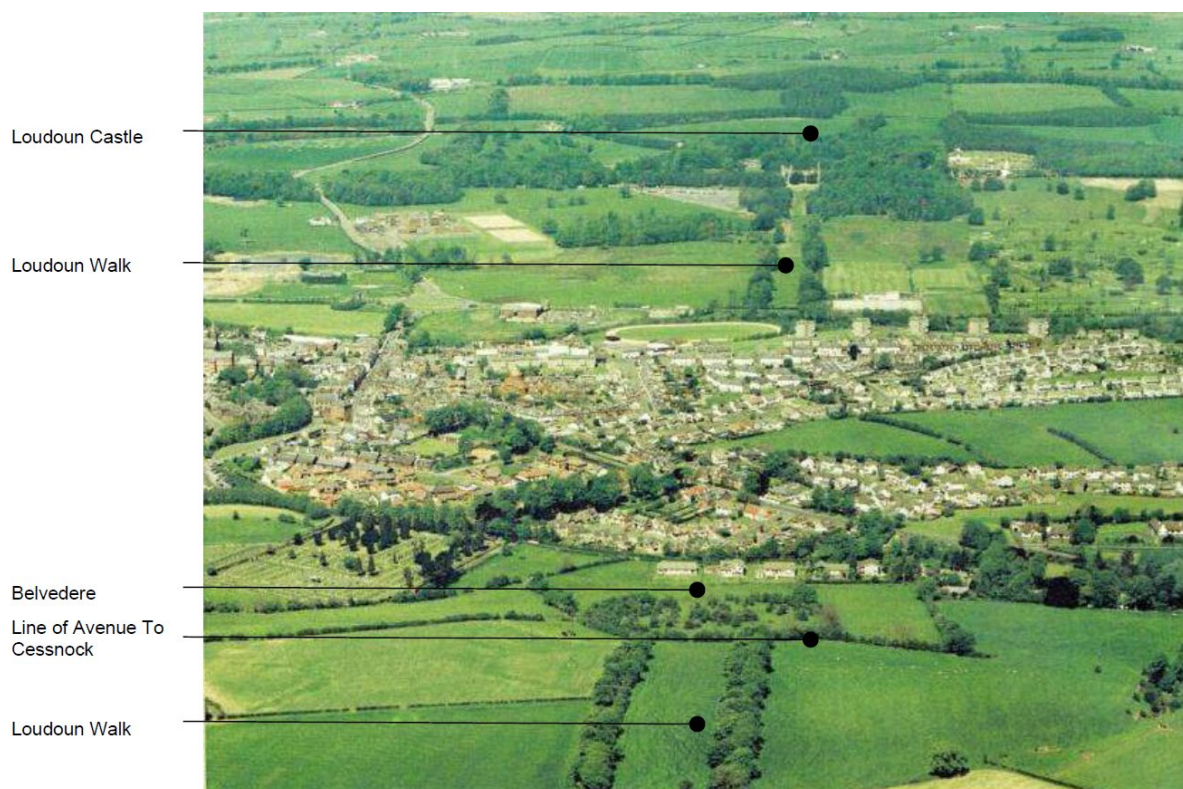


Figure 4 – View north along Loudoun Walk, the Grand Avenue, Galston (PDA)

Tree plantations highlight views of specific sites, often traceable from belvedere and allées positioned to cohere with these views, as well as to provide/ demonstrate access to the sites.

These plantation markers are most visible in most of these photographs on the horizon point, which suggests a conscious attempt to create an expansive panorama, with planted views

corresponding with angles of the compass to assist in interpreting the wide vistas available (Figure 4).

The design is extensive and relatively intact, with the basic structure of viewing platforms and sites remains in well preserved form, adding value to many of the viewing sites by appropriating views towards Cessnock estate and the wider valley, including Galston.

The condition of the estate has been degraded in a number of locations through lack of management, loss of designed landscape elements, defunct theme park features and the encroachment of development along its southern boundary. The setting of the estate is affected by a background of industrial features including Whitelee windfarm and electricity transmission towers. Despite this the overall pattern of the estate north of the A71 appears remarkably similar to that seen in 19th Century OS 1st Edition mapping, and the estate landscape makes a noticeable contribution to local landscape character, including elements that have been part of the landscape for many years.



Figure 5 – View south from Loudoun Castle along the Loudoun Walk or Grand Avenue towards Cessnock (PDA)

Not all views in designed landscapes would include the castle itself; belts would prepare the viewer for the 'reveal' of the castle later, whilst signalling the estate land through woodland etc. Avenues would refer to the historic background of the castle estate using other constructed roundels.

The castle and surrounding landscape remain very important in distant views, notably from higher land on the southern side of the Irvine Valley where the planting belts, enclosed fields, and other key features are highly visible.

- The former West Belvedere, which is outwith the current GDL boundaries, is an important defining feature on the approach eastwards from Kilmarnock and likewise on elevated views from the south.
- Despite the extension of Galston eastwards during the 19th and 20th Centuries, and hence the loss of part of the Grand Avenue, the southernmost section and associated belvedere remain visible today. This area lies outwith the GDL boundaries.
- 20th Century planting within the GDL boundaries obscures some elements of the designed landscape.

Official

4

Promotion of Development Opportunity Site RU-M2

4. PROMOTION OF DEVELOPMENT OPPORTUNITY SITE RU-M2

The Council have allocated a portion of Loudoun Castle Estate Garden and Designed Landscape as a development opportunity site for miscellaneous use. However, LDP2 contains a specific policy relating to the requirements of its subsequent development as a **means to securing the setting of Loudoun Castle and safeguarding the future of this asset to prevent future deterioration and ruination**. Any subsequent development proposal brought forward for consideration by the Council must formulate a masterplan design which secures this objective commensurate with the scale of the development proposed.

TOUR6 outlines that the Council support **a scheme of consolidation works to the Castle and a scheme of restoration works to the Garden and Designed Landscape**, including all associated structures and elements. For clarity, the position does not insist that the Castle be renovated and brought back into active use, consolidation could involve simply stabilisation and future proofing the remaining structure. The Council do not consider this to be a limiting requirement, but a realistic ambition for the redevelopment of RU-M2, given the nature of the complexities, constraints, costs and conservation deficit.

The Council will not be supportive of any application that requires a level of enabling development that would irreversibly have a significant detrimental impact on the integrity of the garden and designed landscape, as well as other natural assets within or adjacent to RU-M2. The Council would be supportive of a proposal which includes enabling development which does not compromise the value of the overall site. A hierarchy of acceptable uses is outlined below within Section 4.1.

Any potential social and economic benefits will only be secured if the (1) tourism and leisure facilities and/or (2) tourist accommodation is delivered on site.

Any development should include sympathetic interpretation of the site which appreciates the estate as a preserved 'historic metaphysical landscape'.

Paragraph 227 - It is recognised that all development proposals will result in competing considerations between the positive effects that the development will bring in terms of environmental, economic, social impacts and the potential detrimental impacts that the development will have on the landscape within which it is set. A balance between the environmental, economic and social impacts of the development and the value and capacity of the heritage assets must be reached.

Note: The primary purpose of the allocation is to bring significant economic and social benefit to the wider area while securing the long-term future of the Castle and associated garden and designed landscape.

Whilst the vision of the Council is for a significant scale of development, this does not preclude more modest development that can meet the principles and provisions of Policy TOUR6 and the associated Supplementary Guidance.

4.1. Hierarchy of Acceptable Uses

Policy TOUR6 sets out a hierarchy of acceptable uses which the Council would support, **in principle** (subject to detail and further information) in order to secure the heritage value of Loudoun Estate and bring economic benefits to the area. These are **set out in a hierarchical basis and provided in order of preference**.

The Council will support sympathetic and suitably scaled enabling development. For clarity, and the avoidance of any doubt, **all development within the site (as outlined with the hierarchy of acceptable uses) will constitute and contribute to enabling development requirements, not simply any proposed housing element**.

A previous planning application¹ to develop the RU-M2 allocation included a high volume of housing, which was deemed to have a significant detrimental impact on the value and amenity of the garden and designed landscape. While the Council support the redevelopment of RU-M2, as outlined within TOUR6, the primary purpose of the allocation is to bring significant economic and social benefit to the wider area **while securing the long-term future of the Castle and associated garden and designed landscape**. As such, housing could be incorporated into proposals to assist other uses in bridging the conservation deficit, but **must form a minimal part of the mix of uses on site as possible** (in juxtaposition with tourism and visitor accommodation facilities) in order to safeguard and prevent the deterioration of the value and character of the Garden and Designed landscape in which RU-M2 is situated.

4.1.1. Tourism and leisure facilities (including indoor and outdoor leisure and recreational facilities)

The Council has not been prescriptive in the specific types of tourism, leisure and recreational uses that are suitable on site, giving flexibility to prospective developers to reflect market realities in their detailed proposals, in order to maximise the potential for successful delivery.

¹ 15/0676/PPP: Planning application in principle for a large scale mixed use leisure and tourism development was refused at Planning Committee. An appeal was lodged, the application was called in for Scottish Ministers' determination on 17 December 2015 and a Public Local Inquiry held. The Reporter's recommended that planning permission in principle should be refused. This was agreed by Scottish Ministers and the final decision issued on 01 February 2019.

4.1.2. Tourist accommodation

- *Hotel*
- *Holiday lodges*
- *Glamping units*
- *Campsites*

- Any tourist accommodation on site should be sensitively located within RU-M2.
- Physical and visual impacts of any tourist accommodation development should be considered and avoided where possible, where impacts are unavoidable they must be sufficiently mitigated.
- The applicant will need to submit sufficiently detailed information relating to scale, layout, design, access and service roads for any tourist accommodation proposed on site.

4.1.3. Housing (as part of a mix of the above uses)

Housing, as part of a mix of the above uses, with an appropriate scale of community facilities and ancillary uses to support any new community on site. Housing alone, without tourism and leisure development, is not supported.

In line with the Reporter's Conclusions to CIN-EAY-001 ², any housing proposed to bridge the conservation deficit gap must function as an acceptable new community in its own right. Sufficient information must be submitted to demonstrate this.

A proposal will be expected to accord with the provisions of policies:

- **INF1** – Infrastructure First
- **INF4** - Developer Contributions
- **T2** - 20-Minute Neighbourhoods

Considerations

- The applicant will be required to demonstrate consideration of the needs of the surrounding community and any new community to be established on site, and that there is sufficient infrastructure capacity to accommodate the proposal. The Council will not support the creation of an isolated community with RU-M2 with limited facilities and services and no integration with the wider community and proposed new uses.

² CIN-EAY-001 is the Scottish Government case reference number for the Public Local Inquiry of 15/0676/PPP seeking planning permission for a large scale mixed use leisure and tourism development at Loudoun Castle, East Ayrshire.

- If any leisure element is included within the proposal information around who will have access to this should be included (i.e. visitors, future residents, surrounding communities of the Irvine Valley and beyond).
- Impacts on infrastructure (including public transport, health and education), demonstrating an infrastructure first approach should be considered and mitigated.
- The limited capacities at Bellfield Interchange are likely to have implications on the development. Within their consultation response to the 2015 planning application, [Transport Scotland](#) outlined that “no more than 250 residential units” be occupied “until improvements are made to the Bellfield Interchange”. As per the findings of the [Transport Assessment](#), the Interchange is nearer capacity than in 2015.
- Financial information must provide and **demonstrate the minimum necessary scale of the enabling development** which will be required in order to meet the conservation deficit and demonstrate viability of the proposal.
- Any significant detrimental impacts from the enabling residential development must be offset and mitigated.
- Adequate screening to mitigate the landscape and visual impacts of any residential element must be integrated and thereafter maintained.

4.2. Conservation Deficit and Enabling Development

The TOUR6 policy requirements relating to ‘conservation deficit’ can be viewed in LDP2: Volume 1, page 121.

‘Enabling development’ is defined in the glossary to NPF4 as development that would otherwise be unacceptable in planning terms, but is essential, to secure the future of an historic environment asset or place which is at risk of serious deterioration or loss.

In the first instance, the applicant must demonstrate that a conservation deficit exists.

All development and proposed uses within the site should be considered and utilised to appropriately calculate an overall conservation deficit, and in turn calculate (i) **the minimum** enabling development requirement to bridge the conservation deficit or; (ii) the enabling development requirement to reduce the conservation deficit to a level that would still deliver clear benefits for the heritage assets.

Proposals which do not take cognisance of Policy TOUR6 ‘conservation deficit’ requirements, will not be supported by the Council.

Considerations

The applicant should consider and appropriately address the content of the following guidance documents:

- [Enabling Development and Heritage Assets \(Historic England\)](#)
- [Enabling Development and the Conservation of Significant Places \(Historic England\)](#)
- [Management of Research Projects in the Historic Environment \(Historic England\)](#)

While the Guidance above has been prepared by Historic England, there is no equivalent document specific for a Scottish Context. This is addressed within the CIN-EAY-001 Scottish Reporters Report for the PLI of the 2015 planning application.

Historic England set out a series of appropriate steps in making the case for enabling development and calculating any conservation deficit:

- | | | |
|---|-----------------------------|---|
| 1 | Condition Survey | Carry out a condition survey of the heritage asset or assets in need of conservation repairs. This assessment usually informs a conservation statement or conservation management plan which establishes the importance of the asset as a whole and the part played by subsidiary elements. It will identify a desired reasonable level of conservation that will sustain the asset in the long term; |
| 2 | Assessment of alternatives | Undertake an options analysis comprising an assessment of alternative solutions by which the asset's future might be secured.

<i>In order to establish if enabling development can be justified and therefore unavoidable, the owner or developer will need to fully explore a range of possible options. It is important that a wide range of realistic possibilities is considered.</i> |
| 3 | Assessment of cost | Carry out an assessment of the cost of repairs and how future maintenance liabilities might be met. Different scenarios may need to be costed. |
| 4 | Assessment of market value | Make an assessment of the market value of the heritage asset in current and repaired condition. The conservation deficit may then be calculated. |
| 5 | Design for preferred option | Draw up a detailed scheme design for the preferred option . |

- 6 Development appraisal Produce a **development appraisal** that demonstrates the financial contribution the development will make to the conservation of the heritage asset.
- In order to calculate the amount of enabling development that might be needed, it is good practice for two development appraisals to be carried out one after another. They will be produced by the applicant and it is advisable these be audited by an independent firm of chartered surveyors. The first appraisal is to establish whether there is a conservation deficit and if so, how much. The second is to demonstrate the minimum amount of enabling development needed to meet the identified deficit. It is also good practice for accompanying sensitivity analysis to be produced to assist in the decision-making process.*
- For complex, multi-phase schemes generating an income stream rather than a lump sum upon completion, a simple development appraisal will not demonstrate the true return and considering cash flow becomes crucial in understanding the outturn.*
- 7 Delivery plan Create a **delivery plan** that demonstrates how the heritage benefits will be secured in a timely manner.

For a development appraisal to demonstrate that the amount of development proposed is the minimum needed to meet the conservation deficit, it should contain:

- a) A detailed floor area schedule (using RICS measurement code of practice) corresponding to the proposed floor plans;
- b) A justification (e.g. 'Red Book' valuation report) for current market value
- c) A justification for end values, based on comparable transactions;
- d) Detailed costed schedules of works;
- e) A justification for all other costs;
- f) A sensitivity analysis.

Further detail for each stage is provided within the [Enabling Development and Heritage Assets \(Historic England\)](#) Guidance document, paragraphs 28-80.

The extent and detail required at each stage outlined above should be proportionate and appropriate to the specific circumstances of the site, heritage asset and proposal.

4.3. Requirements for the Castle and Garden and Designed Landscape and other Heritage Assets

4.3.1. Enabling Development

All development on site will contribute to the enabling development calculations, not simply any housing element proposed to meet the conservation deficit. As such, financial information relating to all elements of the proposal will be required to be submitted on an open-book basis to the Council for consideration.

Alongside the site specific requirements of policy TOUR6, the proposal will need to accord with Policy HE5: Enabling Development, LDP2 Volume 1 (page 73) as well as NPF4 Policy 7(n): Historic Assets and Places³.

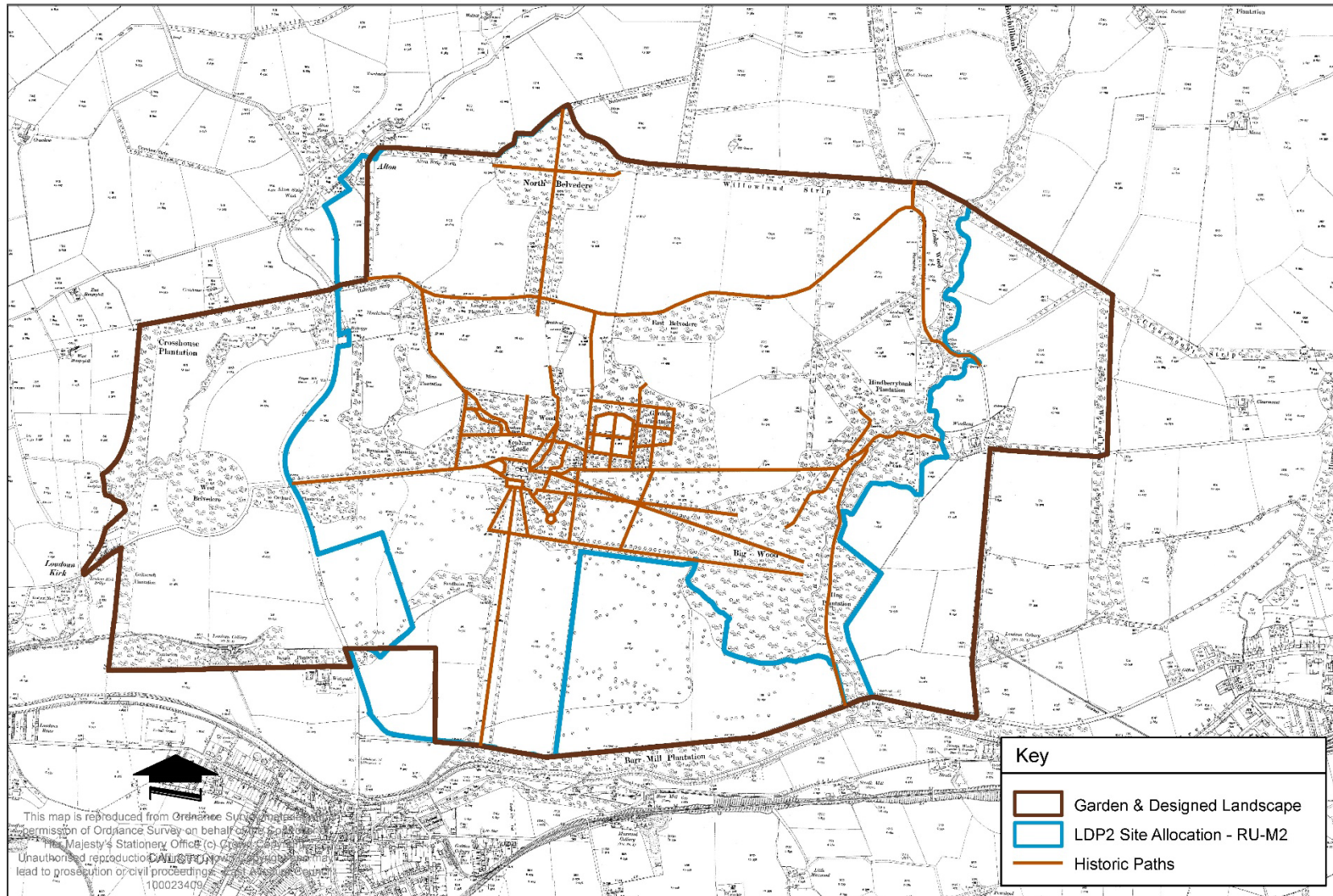
4.3.2. Interpretation

The Council strongly recommend that a Plan illustrating the proposed road, footpath and cycling network be submitted. Ideally, this would be contained within the detailed masterplan. The network of walking and cycling routes should provide internal linkages between any leisure, open space, woodland and residential areas as well as external linkages between the development site and the external nodes such as the settlement of Galston, Loudoun Academy and Loudoun Golf Club and the wider path network beyond these points.

Any proposal should incorporate signage, including navigational signs and interpretation boards to highlight the heritage, landscape and environmental value of the site.

³ LDP2 contains a more detailed policy on enabling development and Loudoun specifically through TOUR6.

Figure 6 – Historic paths and routes



4.3.3. Application Requirements

4.3.3.1. *Early consultation/discussion*

It is strongly recommended that any potential applicant enter into **early discussions with the Council** through the pre application service so ensure that the requirements of the development plan are fully understood and to ensure that appropriate communication is maintained at all times, given the scale, heritage, landscape and potential implications of the subsequent development of this complex site.

The Planning Authority strongly encourage **a full planning application** for the development of this site, given its nature and complexities in order to streamline the assessment of any subsequent application and to ensure that the Planning Authority has all the information that they need to make a robust assessment of the development proposal and its implications in terms of scale and quality. Before the submission of any application, an EIA screening request should be submitted to the planning authority. The information supplied must be sufficient to enable the planning authority to adopt a screening opinion.

4.3.3.2. *Pre-Application Consultation*

Given the scale of the site, and the complex development constraints, the Planning Authority strongly encourage formal pre-application discussions of proposals prior to the lodgement of any planning application. The role of pre –application advice is to provide a forum for developers to discuss proposals with Council Officers prior to submitting an application and thereby receive advice on issues which will need to be addressed as well as which information will be required for a submission.

Pre-application consultation (often known as PAC) is a statutory requirement, set out in which must be undertaken in advance of any planning application being submitted, for developments that are categorised as being either ‘major’ or ‘national’ developments.

The PAC process allows the community to put their views directly to the developer before a planning application is submitted. At least two public events should be undertaken with the first event collecting the views on the proposal and allowing the public to feed into the design process. The second event should outline how those views have been addressed through any updated design and mitigation measures. The PAC process should improve the quality of the proposal and allow prospective applicants the opportunity to amend their emerging proposals in light of community, statutory consultee and planning authority opinion

4.3.3.3. *Illustrative vs detailed plans*

While illustrative plans are acceptable at the early stages of design, such as at formal pre-application discussion stage, detailed plans (which accord and correspond with a detailed

finalised masterplan) will be required in order to add certainty to the design and layout of the proposal. The Council cannot foresee how the design details of individual areas of the site can be meaningfully assessed without a masterplan and associated plans.

Where possible and appropriate, this should consider and detail features such as parking, planting, boundary treatments, signage, lighting, service infrastructure, footpaths, cycle paths, pavements, waste management, open space, natural flood management measures and roads in order to accord with the policy framework of the LDP2.

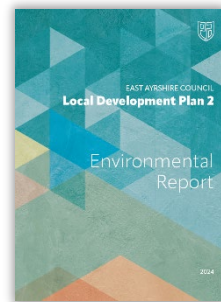
4.3.3.4. Volume 2: RU-M2 Developer Requirements

Volume 2 of Local Development Plan 2 sets out some site specific developer requirements for site allocation RU-M2. These can be viewed in page 104 of LDP2 Volume 2 and **Appendix 3** below.

4.3.3.5. Strategic Environmental Report: RU-M2 Mitigation Requirements

The associated Environmental Report for the Local Development Plan assesses the potential significant environmental impacts of the allocation of RU-M2 as a miscellaneous development opportunity and sets out mitigation requirements which seek to reduce potential negative impacts.

These are set out within [Appendix 11.25](#) of the Environmental Report, and **Appendix 4** of this SG.



4.3.3.6. Masterplanning

A masterplan approach to the whole development is key to the delivery and objectives of the policy. This will provide a structured approach to the long term development of the site. The information submitted with any subsequent planning application should demonstrate that a masterplan approach has been followed and include a detailed masterplan. This detailed masterplan should include, where possible and appropriate: features such as parking, planting, boundary treatments, signage, lighting, service infrastructure, footpaths, cycle paths, pavements, waste management, open space, natural flood management measures and roads in order to accord with the policy framework of the LDP2.

The masterplan will be expected to reflect the requirements of Policy TOUR6 as well as the contents of this Supplementary Guidance.

A masterplan is needed to co-ordinate all the development within the allocated site and to make sure all impacts and trade-offs are considered in relation to the planning constraints,

particularly the castle and inventory garden and designed landscape. It will provide a long term vision for the land use and development. This should constitute a comprehensive and co-ordinated framework of development for the site. A masterplan approach will require (where possible and appropriate) a meaningful layout, street plan, development plots including indicative buildings, green and blue infrastructure plan and infrastructure plan.

Any Masterplan drawing(s) submitted must be in a cohesive format which is legible. While the Council understand that the complexities of the site will make it difficult to represent all elements of the proposal on a single masterplan drawing, this should be as comprehensive as possible, spread across as few plans and layouts as is reasonably achievable. The masterplan should be interlinked with any phasing plan.

4.3.3.7. Phasing

The phasing and sequence of development is important to the Council and needs to be controlled. This is necessary so that the sequence of the development is acceptable and mitigated and also that the provision of infrastructure and services is co-ordinated with the needs of the tourism and recreation development and that of any potential future residents on site.

A phasing plan should be submitted with any subsequent planning application which ensures that the scheme of consolidation for the Castle and the scheme of restoration works for the garden and designed landscape will **begin prior to or in tandem with the commencement of any other aspect of the development on site**. This is to prevent any potential housing element of the proposal being constructed first, and the larger plans for the Castle and Garden and Designed Landscape left abandoned or unrealised. The Council have not identified this site for housing purposes, housing is only acceptable as a part of a mix of other uses as enabling development as detailed above.

The Council will require detailed and clear costings and phasing information. It would be, for example, unacceptable for repairs to be started to the castle but not completed or for there to be continual pressure for further residential development if circumstances change.

This is necessary so that the sequence of the development is acceptable and also that the provision of infrastructure and services is co-ordinated with the needs of the tourism and recreation development and that of the residents of the new community.

Note: Where a phased approach to the enabling development is planned, agreed and enforceable trigger points will be identified by the Planning Authority.

69 Risk of non-completion of the conservation works can be mitigated more easily in the case of larger projects by phasing so that once a defined block of conservation work has been done or payment made, the first phase of enabling development may proceed. There may be a logical sequence, beginning with repairs to the structure and external envelope, with subsequent

development phases scheduled to follow the delivery of subsequent benefits. In this way a clear benefit is achieved...

~ Enabling Development and Historic Assets (Historic England)

4.3.3.8. Maintenance

The primary purpose of the allocation is to bring significant economic and social benefit to the wider area while securing the long-term future of the Castle and associated garden and designed landscape. This requires information relating to the long-term maintenance of the site (in its entirety).

Details of the long-term maintenance arrangements of the built and natural elements of the proposal will be required as part of any planning application and included within any phasing plan in order to the satisfaction of the Council and demonstrate accordance with the requirements of TOUR6.

The applicant will have to set out the long-term maintenance arrangements for:

- The consolidated remains of the Castle;
- The Inventory Garden and Designed Landscape;
- Open spaces;
- Green and blue infrastructure – including landscaping;
- Other aspects as deemed necessary.

Given the scale of RU-M2, the complexities of the site and mix of acceptable uses, the phasing of any development will likely extend a substantial time-frame. Management arrangements must include the phasing timescales and extend beyond this to demonstrate the long-term management of the site.

Loudoun Castle Estate Garden and Designed Landscape – Site Designations and Assets

5. LOUDOUN CASTLE ESTATE GARDEN AND DESIGNED LANDSCAPE – SITE DESIGNATIONS AND ASSETS

5.1. Overview of Loudoun Castle and Estate (Site RU-M2)

The site contains a number of natural and historic assets which are designated and safeguarded through the policy framework of the Local Development Plan as well as through legislation.

This Guidance intends to provide further information and instruction. Overall, the suitability of the development proposal will be contingent on how sensitively it has been designed in order to reduce detrimental impacts on the sites historic and natural assets.

5.2. Local Nature Conservation Sites

Local Nature Conservation Sites are sites which have been designated on account of their local importance in terms of nature conservation value. These are non-statutory designations. These sites are not afforded legal protection, however, they are protected through the application and implementation of specific planning policies, within the context of Local Development Plan 2, Policy **NE5: Protection of Areas of Nature Conservation Interest (iii)**.

The Council has prepared a detailed Non-Statutory Planning Guidance document for Local Nature Conservation Sites.

The proposal will also need to accord with the requirements of policies **NE4: Nature Crisis** and **NE6: Vulnerable, Threatened and Protected Species**.

Updated Ecology surveys will need to be completed and submitted in support of the application. Bat and badger surveys, in particular, will be required and must inform the proposal's layout and design and include enhancement and biodiversity net gain.

The applicant consider and appropriately reflect NatureScot's '[Developing with Nature Guidance](#)' and the Scottish Government's '[Biodiversity: Draft Planning Guidance](#)' in order to accord with the requirements of NE4, NE5, NE6 and in turn Policy 3 of NPF4.

5.2.1. Loudoun Castle Woodlands & Waterside

The primary habitat is woodland and scrub. The site is approximately 116.98 ha and located to the north-east of Galston and North-west of Newmilns. The site has been designated for nature conservation purposes on account of its habitat value.

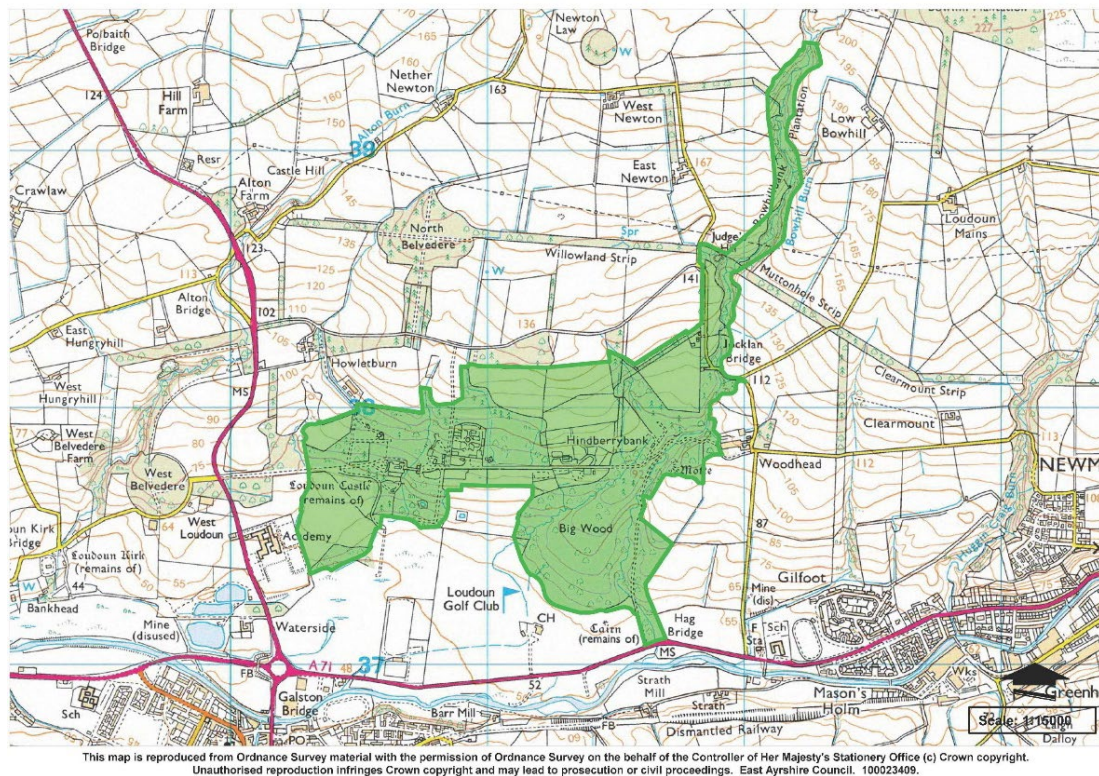


Figure 7 – Loudoun Castle Woodlands & Waterside LNCS

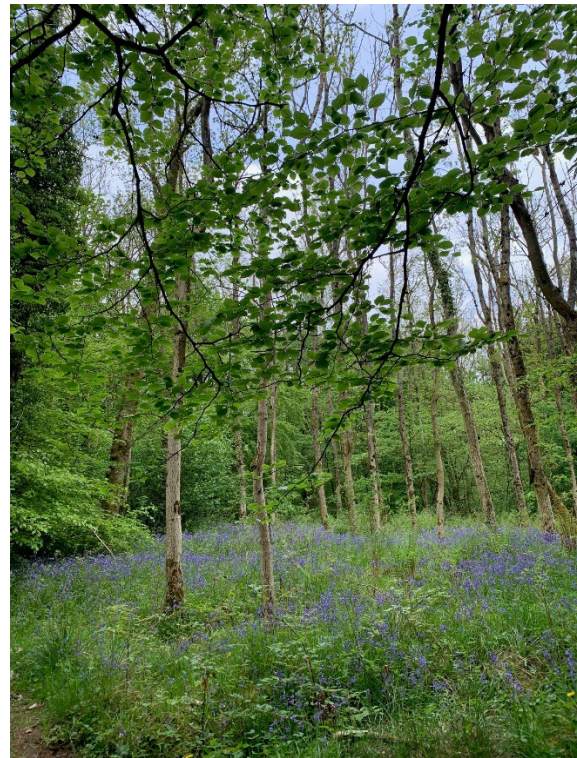
The LNCS consists of high quality deciduous and mixed woodland, marsh areas and coniferous woodland plantation. More detail on habitat and biodiversity attributes can be found within the relevant section of the Local Nature Conservation Sites Non-Statutory Planning Guidance document.

A Phase 1 Habitat Survey of Loudoun Castle Woodlands and Waterside LNCS can be viewed in **Appendix 5**.

Loudoun Castle Woodlands and Waterside Local Nature Conservation Site:



Ramsons (Allium ursinum) within the LNCS situated along a key vista heading north towards the north belvedere.



Hyacinthoides, Red Campion (*Silene dioica*), Dog Violets (*Viola riviniana*), Speedwells and Plantains within the LNCS situated north of Big Wood.



Hyacinthoides, Dog Violets (*Viola riviniana*), Speedwells and Plantains within the LNCS situated west of Hinderberrybank Plantation.



Carpet Bugle (*Ajuga reptans*), Germander speedwell (*Veronica chamaedrys*), Birch Polypore (*Fomitopsis betulina*), Woodland Strawberry (*Fragaria vesca*) and Water Avens (*Geum rivale*) found cross the LNCS.

Orchard Plantation & West Belvedere

The primary habitat is woodland and scrub. The site is approximately 8.6 ha and located to the north-east of Galston, approximately 500 metres north of the settlement. The site has been designated for nature conservation purposes on account of its habitat value.

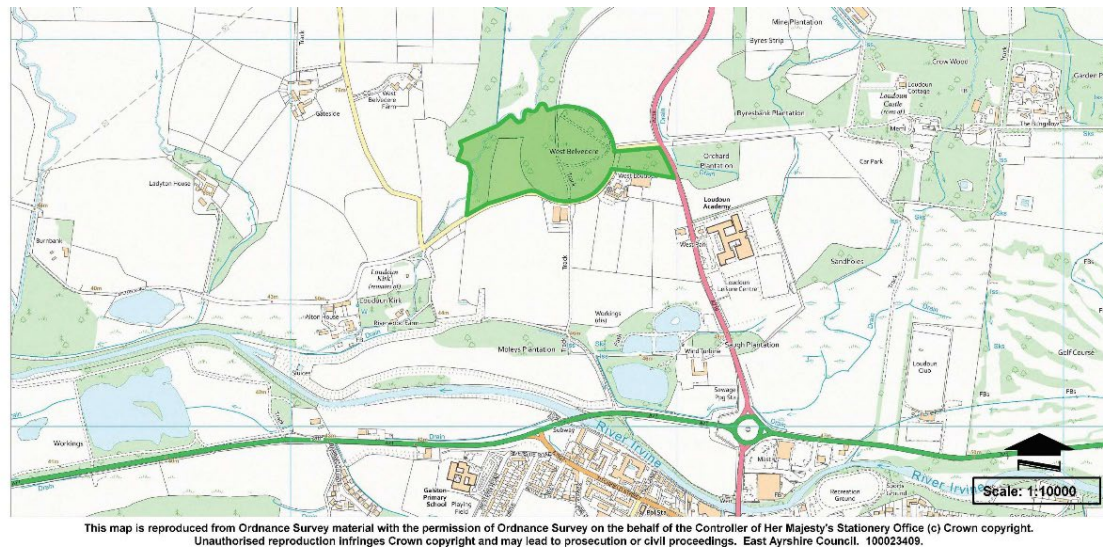


Figure 8 – Orchard Plantation & West Belvedere LNCs

More detail on habitat and biodiversity attributes can be found within the relevant section of the Local Nature Conservation Sites Non-Statutory Planning Guidance document.

5.3. Trees and Woodland

Proposals should consider, and avoid where possible, any potentially detrimental impacts to individual trees, groups or areas of trees and woodland on site. This includes ancient woodland, TPO'd trees as well as trees within the Local Nature Conservation Site.

BS 5837 (2012): Trees in relation to design, demolition and construction is a recognised industry standard for the protection and management of trees. BS 5837 (2012) provides information on the current British standards concerning trees and development; including: planning for management, protection and planting of trees in the vicinity of structure and for the protection of structures near trees. **All** developments **must** demonstrate and meet the requirements set out within this document. BS 5837 (2012) provides recommendations on the principles and procedures to be applied to achieve a satisfactory relationship between trees and new developments.

In accordance with BS 5837, a detailed tree survey will be required for any proposal on site. This should include and illustrate the **Root Protection Area (RPA)** of trees on site. The constraints imposed by trees, both above and below ground should inform the site layout design.

The Council will consider potential impacts impact on trees within RU-M2 in the determination of any application, given their importance in terms of nature conservation, but also landscape character.

A sufficiently detailed masterplan or supporting site layout must be submitted as part of the application detailing any tree losses overlain on an up to date tree survey.

5.3.1. Ancient Woodland

Ancient Woodland is defined as land that is currently wooded and has been continually wooded, at least since 1750. Loudoun Castle Estate and Garden and Designed Landscape contains a number of ancient woodland areas, as identified on the Ancient Woodland Inventory (AWI) held by NatureScot. Details of the sites, location, area and antiquity can be found in Table 1 (below).

Official

Figure 9 – Ancient and Native Woodland

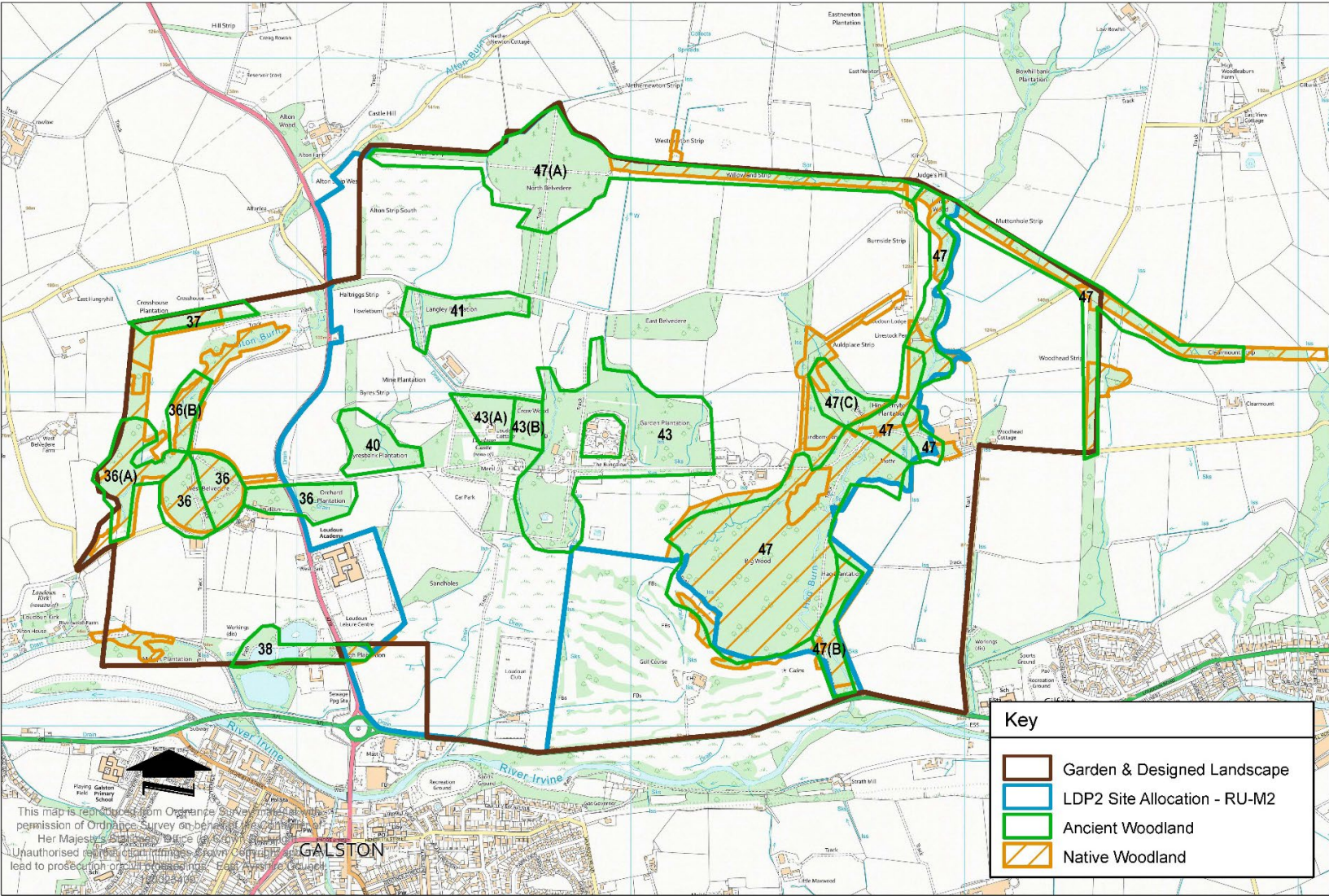
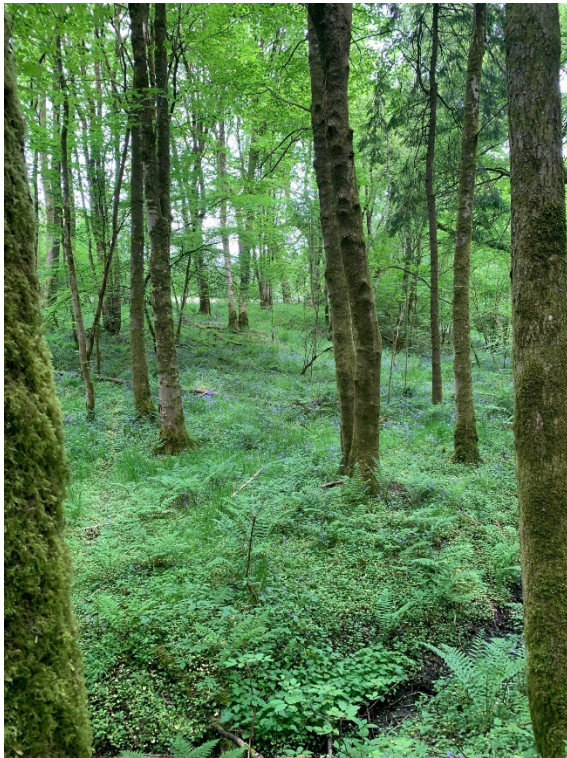
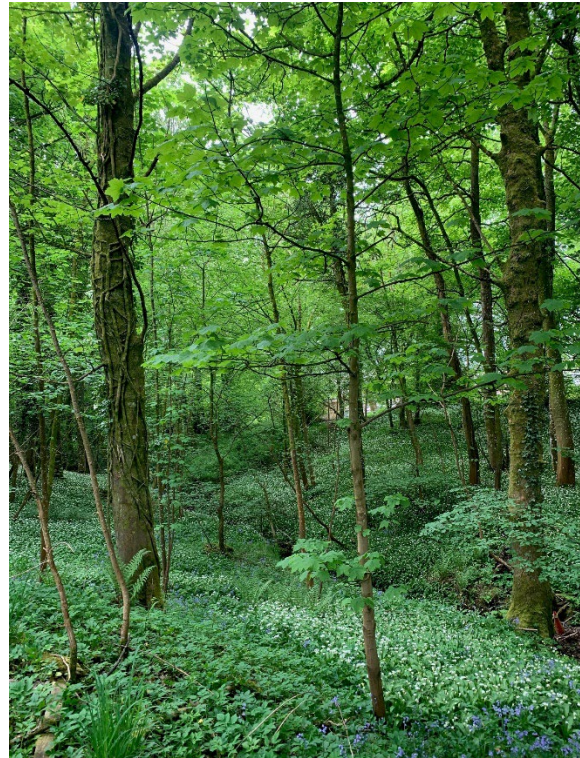


Table 1 – Ancient Woodland Inventory

Site Name	Site ID	Wood ID	Antiquity	Area (ha)	Grid Reference
West Belvidere	36(A)	27,520	Ancient (of semi-natural origin)	4.04	NS494377
West Belvidere	36(B)	27,519	Other (on Roy Map)	1.78	NS496379
West Belvidere	36	27,522	Long-Established (of plantation origin)	2.6	NS496377
West Belvidere	36	27,521	Long-Established (of plantation origin)	2.33	NS496377
West Belvidere	36	27,523	Long-Established (of plantation origin)	2.98	NS499376
Big Wood	47	28,429	Ancient (of semi-natural origin)	3.87	NS517378
Big Wood	47	28,434	Ancient (of semi-natural origin)	2.81	NS517378
Big Wood	47	28,438	Ancient (of semi-natural origin)	1.01	NS517378
Big Wood	47	28,440	Ancient (of semi-natural origin)	24.47	NS517378
Big Wood	A7(B)	28,442	Long-Established (of plantation origin)	2.58	NS516372
Big Wood	47(C)	28,435	Other (on Roy map)	2.24	NS516380
Muttonhole Strip	47	28,430	Long-Established (of plantation origin)	7.15	NS523382
North Belvedere	47(A)	28,427	Long-Established (of plantation origin)	14.78	NS507387
<i>Object ID: 8984</i>	38	28,444	Long-Established (of plantation origin)	2.44	NS500372
<i>Object ID: 8980</i>	40	28,439	Long-Established (of plantation origin)	2.95	NS502378
<i>Object ID: 8977</i>	41	28,431	Long-Established (of plantation origin)	3.28	NS504382
<i>Object ID: 13655</i>	43	28,433	Long-Established (of plantation origin)	17.06	NS508378
<i>Object ID: 13656</i>	43(A)	28,436	Long-Established (of plantation origin)	2.02	NS506379
<i>Object ID: 8979</i>	43(B)	28,437	Long-Established (of plantation origin)	1.27	NS507379



Hyacinthoides within ancient woodland named Big Wood (Site ID: 47).



*Hyacinthoides, Ramsons (*Allium ursinum*) and Dog Violets (*Viola riviniana*) within the ancient woodland (Site ID: 41).*

Ancient Woodland is recognised as an irreplaceable resource of high nature conservation and landscape value which should be protected.

LDP2 and NPF4 (Policy 6) do not support the loss of ancient woodlands, ancient and veteran trees or development which may have an adverse impact on their ecological condition. **Policy NE8: Trees, Woodland, Forestry and Hedgerows** sets a presumption against the loss of ancient semi-natural woodland, ancient and veteran trees and states that proposals which are likely to have an adverse impact on the ecological condition of these assets will not be supported.

Any proposal to develop RU-M2 must accord with the provisions of **Policies NE1, NE4, NE5, NE6 and NE8**.

The LDP2, through **Policy NE9: Woodland Creation** actively supports developments which propose to enhance, expand and improve woodland.

5.3.2. Tree Preservation Orders

2007, Loudoun Castle Estate

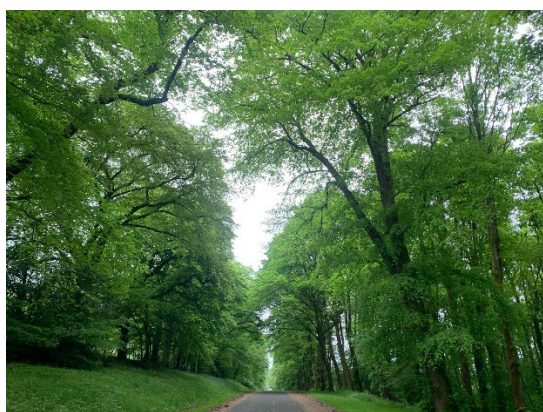
The Loudoun Estate Tree Preservation Order 2007 was made by East Ayrshire Council to prevent damage or loss of woodland. There are 166 trees with preservation orders (TPOs), with 8 groups and 11 areas of trees.



Figure 10 – TPO 2007, Loudoun Castle Estate

T104 to T166 form the basis of the grand avenue planting. As illustrated within Figure 10 above, a number of trees along this avenue, particularly along the western edge have been lost. These should be reinstated as part of the scheme of restoration for the inventory garden and designed landscape.

Full details of the TPO can be viewed in **Appendix 6**.



Entrance into Loudoun Estate. To the left is A1 as identified within TPO 2007. A1 consists of an area of Lime, Beech, Sycamore, Holly, Birch and Oak trees.



Located to the east of the walled garden is A11 (left hand side) which consists of an area of Sycamore, Ash and Oak trees (Date: 13/05/2024).

- The Council would prefer a site layout plan which shows the trees to be retained and lost through the development, with specific identification of TPO'd trees against the 2007 Order/Schedule

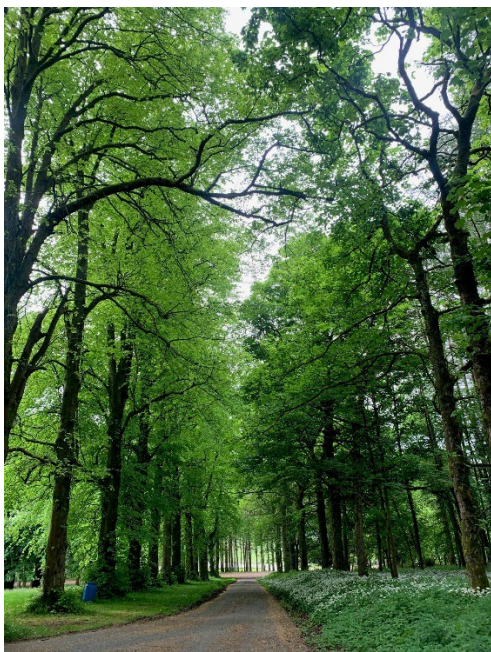
- Early consultation and discussion with the Council's Arboricultural Officer is recommended regarding the proposal and its potential impact on TPOs, ancient woodland and trees more generally.



T36: Sweet Chestnut. Protected by TPO but also identified in as a veteran tree, with a 5.95m girth (tree ID 62496) (Date: 13/05/2024).



Situated along the entrance into Loudoun Estate, on the right hand side. T17: Oak (Date: 13/05/2024).



Looking south from key vista. To the left is A4 which consists of an area of Lime. To the right is G1 (Group of Beech and Sycamore) and G2 (Group of sycamore) (Date: 13/05/2024).



Situated to the west of the walled garden is A5 (left) and A6 (right). Two areas of limes trees (Date: 13/05/2024).

Official

5.3.3. Ancient Tree Inventory

There are a number of trees within RU-M2 which are identified within the Ancient Tree Inventory ([Woodland Trust](#)). These form some of the oldest and most important trees in Scotland. These can be viewed within Table 2 and Figure 11 (below).

Table 2 – Ancient and Veteran trees within RU-M2

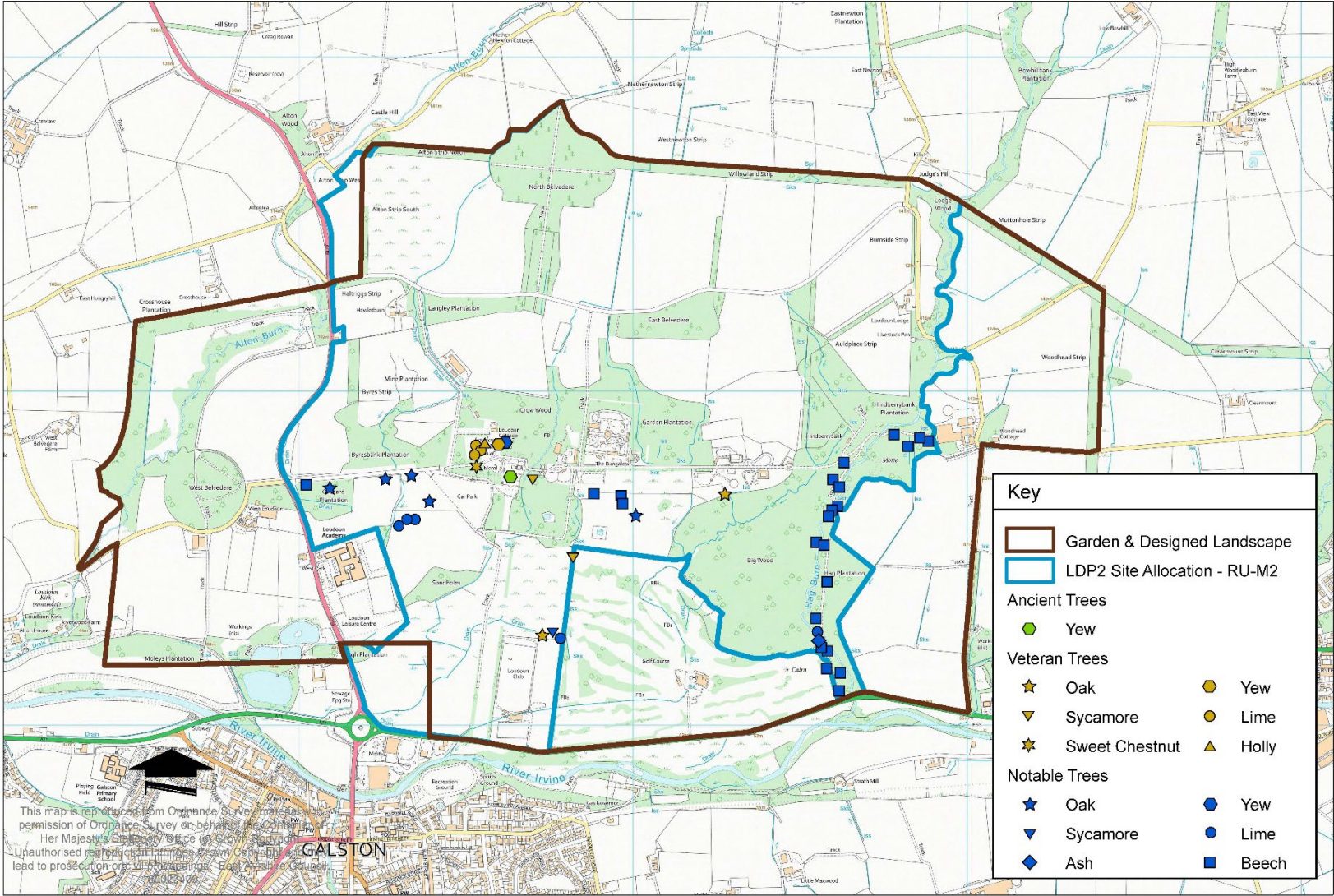
Species	ID	Form	Living Status	Girth	Veteran status	Grid Reference
Beech	62507	Multi-stem	Alive	4.50 m (at 1.20 m)	Notable tree	NS50013774
Oak	62506	Maiden	Alive	3.30 m (at 1.50 m)	Notable tree	NS50123772
Oak	62504	Maiden	Alive	3.60 m (at 1.50 m)	Notable tree	NS50273774
Oak	62505	Maiden	Alive	4.05 m (at 1.50 m)	Notable tree	NS50343775
Lime	62503	Maiden	Alive	4.60 m (at 1.00 m)	Notable tree	NS50303760
Lime	62502	Maiden	Alive	3.35 m (at 1.50 m)	Notable tree	NS50323762
Lime	62501	Maiden	Alive	3.40 m (at 1.50 m)	Notable tree	NS50343762
Oak	62500	Maiden	Alive	3.20 m (at 1.50 m)	Notable tree	NS50393766
Sweet Chestnut	62499	Stump	Dead	7.10 m (at 0.30 m)	Lost ancient	NS50483777
Sweet Chestnut	62496	Maiden	Alive	5.95 m (at 1.00 m)	Veteran tree	NS50543778
Lime	62493	Multi-stem	Alive	9.80 m (at 1.50 m)	Veteran tree	NS50543781
Lime	62494	Maiden	Alive	5.90 m (at 1.50 m)	Veteran tree	NS50553782
Lime	62495	Maiden	Alive	5.90 m (at 1.50 m)	Veteran tree	NS50543783
Holly	62492	Multi-stem	Alive	3.10 m (at 1.50 m)	Veteran tree	NS50563783
Common Yew	62491	Maiden	Alive	4.60 m (at 1.20 m)	Veteran tree	NS50593782
Common Yew	62490	Maiden	Alive	3.10 m (at 1.50 m)	Veteran tree	NS50603782
The Auld Yew Tree of Loudoun – Common Yew	62497	Maiden	Alive	5.50 m (at 1.20 m)	Ancient tree *Heritage tree ** Trees of National Special Interest (TNSI)	NS50633774
Common Sycamore	62498	Maiden	Alive	4.80 m (at 1.50 m)	Veteran tree	NS50703774
Beech	62489	Maiden	Alive	3.80 m (at 1.30 m)	Notable tree	NS50893768
Beech	62486	Maiden	Dead	3.10 m (at 1.50 m)	Notable tree	NS50983767
Beech	62487	Maiden	Alive	3.15 m (at 1.50 m)	Notable tree	NS50983766
Oak	62488	Maiden	Alive	3.80 m (at 1.50 m)	Notable tree	NS51003763
Oak	62485	Multi-stem	Alive	7.15 m (at 1.00 m)	Veteran tree	NS51283771
Oak	62425	Maiden	Alive	4.80 m (at 1.50 m)	Veteran tree	NS50733724
Common Sycamore	62424	Maiden	Alive	3.65 m (at 1.20 m)	Notable tree	NS50753725
Lime	62422	Maiden	Alive	3.90 m (at 1.50 m)	Notable tree	NS50793725
Beech	62408	Maiden	Alive	3.40 m (at 1.50 m)	Notable tree	NS51613709
Beech	62387	Maiden	Alive	3.95 m (at 1.50 m)	Notable tree	NS51623714
Beech	62386	Maiden	Alive	3.20 m (at 1.50 m)	Notable tree	NS51593716
Beech	62388	Maiden	Alive	3.25 m (at 1.50 m)	Notable tree	NS51583723
Beech	62390	Maiden	Alive	3.00 m (at 1.50 m)	Notable tree	NS51573724
Ash	62391	Multi-stem	Alive	3.90 m (at 1.50 m)	Notable tree	NS51563725
Lime	62392	Maiden	Alive	5.60 m (at 0.30 m)	Notable tree	NS51563727
Beech	62392	Maiden	Alive	3.00 m (at 1.50 m)	Notable tree	NS51563731
Beech	62394	Maiden	Alive	3.55 m (at 1.20 m)	Notable tree	NS51583746
Beech	62435	Maiden	Alive	3.25 m (at 1.50 m)	Notable tree	NS51573753
Beech	62495	Maiden	Alive	3.20 m (at 1.50 m)	Notable tree	NS51583753

Beech	62397	Maiden	Alive	3.05 m (at 1.50 m)	Notable tree	NS51593760
Common Beech	62400	Maiden	Alive	3.50 m (at 1.50 m)	Notable tree	NS51603761
Common Beech	62436	Maiden	Alive	3.05 m (at 1.50 m)	Notable tree	NS51603762
Beech	62437	Maiden	Alive	3.10 m (at 1.50 m)	Notable tree	NS51633773
Common Beech	62438	Maiden	Alive	3.35 m (at 0.50 m)	Notable tree	NS51623774
Beech	62402	Maiden	Alive	3.05 m (at 1.50 m)	Notable tree	NS51643778
Common Beech	62403	Maiden	Alive	4.00 m (at 1.50 m)	Notable tree	NS51793787
Common Beech	62404	Maiden	Alive	3.20 m (at 1.50 m)	Notable tree	NS51833784
Beech	62405	Maiden	Alive	3.10 m (at 1.50 m)	Notable tree	NS51873786
Beech	62406	Multi-stem	Alive	4.55 m (at 0.80 m)	Notable tree	NS51883786

Policy **NE8: Trees, Woodland, Forestry and Hedgerows** set a presumption against the loss of these assets and Policy **NE1: Protecting and Enhancing Landscape and Features** outlines that *development that would result in the loss of valuable landscape features, to such an extent that character and value of the landscape are unacceptably diminished, will not be supported, such landscape features include: c) woodlands, shelter belts, hedgerows and trees (especially ancient and veteran trees of high nature conservation and landscape value).*

Official

Figure 11 – Notable, Veteran and Ancient Trees within Loudoun Estate





A maiden Beech identified as a notable tree, with a 3.8m girth at 1m (tree ID 62489) (Date: 22/05/2024).



Sweet Chestnut (*Castanea sativa*). Protected by TPO but also identified in as a veteran tree, with a 5.95m girth at 1m (tree ID 62496) (Date: 13/05/2024).



Multi-stemmed Oak identified in as a veteran tree, with a 7.15m girth at 1m (tree ID 62485) (Date: 13/05/2024).

5.4. Garden & Designed Landscape

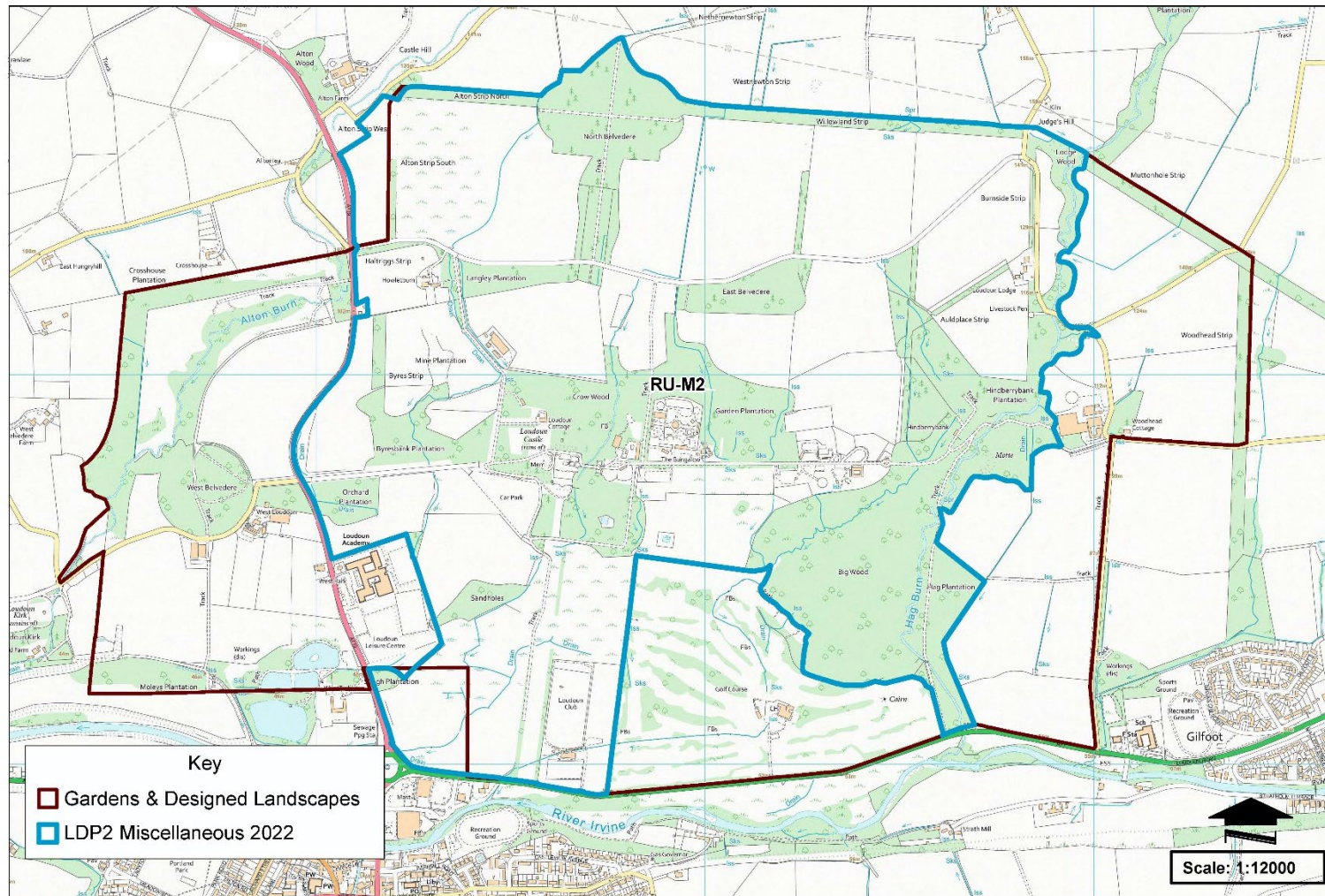
5.4.1. Loudoun Castle Garden and Designed Landscape (GDL00269)

The Loudoun Castle estate sits in a wide valley setting with the River Irvine to the south, and sloping hills to the north and south. The estate comprises a ruinous early 19th century country house incorporating earlier castle fabric, walled garden, surrounding cottages, plantations and pastureland. It is included in Historic Environment Scotland's Inventory of Gardens and Designed Landscapes in Scotland, meeting the criteria for national importance as set out in [Historic Environment Policy for Scotland \(HEPS, 2019\)](#) and supporting document [Designation Policy and Selection Guidance \(2019\)](#), in addition to which it contains a number of listed buildings and archaeological sites.

Loudoun Castle designed landscape was designated on 1 July 1987. A site which meets the criteria for addition to the Inventory is an important element of Scotland's historic environment and landscape which contributes to our culture, enriches the texture and pattern of our landscapes and forms a unique record of social, cultural and economic change through time. Inventory sites are of national importance.

As outlined by [Historic Environment Scotland](#) in Table 3 below, the designed landscape at Loudoun Castle has been radically altered through the years, but still makes a valuable contribution to the surrounding scenery.

Figure 12 – RU-M2 Site Allocation and Loudoun Garden and Designed Landscape



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Table 3 – Historic Environment Scotland Inventory Information on GDL00269

Date Added	01/07/1987	NGR NS 50904 37844
Feature/Element	Level of interest	Description
Artistic Interest	Some	The early design has remained similar in structure since the 1700s and gives it some value as a Work of Art.
Historical	Outstanding	The long association with the Campbell family and the continuance of the design give it outstanding Historical value.
Horticultural	Some	The 4th Earl's improvements to the estate and his introduction of new plants and trees give this site some value in this category although little ornamental planting remains.
Architectural	High	The designed landscape provides the setting for the A listed castle (sic).
Archaeological	Not assessed	N/A
Scenic	Outstanding	The designed landscape makes a major contribution to the surrounding scenery by virtue of its size and pattern.
Nature Conservation	Some	Some of the estate woodlands are now 250 years old and their relative lack of disturbance provides some value in this category.

Policy TOUR6 is supportive of a scheme of consolidation works to the castle and a scheme of restoration works to the inventory Garden and Designed Landscape. The Council consider this as a realistic expectation on developers, but also, this ensures that the level of enabling development required on site is sensitive and sympathetic to the heritage assets on site (including the associated inventory Garden and Designed Landscape), which is in itself a notable asset).

The cost of restoring the Castle could be so high and the subsequent conservation deficit so large that the level of enabling development required would in turn significantly and irreversibly detrimentally impact on the integrity, character and value of the garden and designed landscape. This would be in complete contradiction to a key purpose of allocating the Estate as a development opportunity site i.e. safeguarding the important historic asset of Loudoun Castle Estate. It is the Council's view that, on balance, the best realistic and viable outcome for the Estate is for the Castle to be consolidated and the Garden and Designed Landscape restored, and that this be enabled through suitably scaled enabling development. The Council will consider more ambitious proposals on site positively, and is not prohibitive should the development be sensitive and in-keeping with the primary purpose of designation.

The merits of any proposal will be assessed on an individual basis through the planning application process.

The proposal will need to satisfy the tests set out within the following relevant Guidance documents:

- [Historic Environment Scotland's Managing Change: Setting](#)
- [Historic Environment Scotland's Managing Change: Gardens and Designed Landscapes](#)
- [Historic Environment Scotland's Managing Change: Use and Adaption of Listed Buildings](#)

The applicant will need to consider and address the magnitude and cumulative effect of the proposed changes on site. The proposal must reflect the ability of the landscape to absorb new development without eroding its key characteristics and consider the effect of the proposed change(s) on qualities of the existing setting including its sense of remoteness, sense of place, and cultural identity. The proposal should explore the overall interrelationship of elements and the extent to which they combine to form an overarching artistic intent. There is potential for the scale, density and extent of any subsequent development to obscure and erode the defining characteristics of the landscape of parkland, vistas, formality, great house and ancillary structures. This would have a detrimental impact on our ability to experience, understand and appreciate the inventory garden and designed landscape.

Without sufficiently detailed maintenance arrangements, it will not be possible for the Council to assume that there may be beneficial long term landscape and visual effects from a development proposal. As such, it is important that the applicant submit this information in support of a given application.

Not all views in designed landscapes would include the castle; belts would prepare the viewer for the 'reveal' of the castle later, whilst signalling the estate land through woodland etc. Avenues would refer to the historic background of the castle estate using other constructed roundels.

A successful interpretation of the landscape and its importance requires a reading that acknowledges the dual (or even treble) functioning of the estate as image, viewed from outwards, viewing platform, viewing outwards, and within a wider Campbell design that included the Cessnock Castle estate.

Requirements

The proposal should include new planting to restore elements of the garden and designed landscape, but also to enhance biodiversity within the site. Information relating to planting and how it will be maintained therefore should be included.

A detailed landscape restoration plan should be submitted for consideration, alongside (or including) a meaningful landscape masterplan and framework. The Council consider that this can only be successful prepared when completed in tandem or in support of an overall masterplan for the development site. This should spatially outline the scheme of restoration for the Inventory Garden and Designed Landscape. This can be supplemented with textual information, images, photographs and illustrations.

It must be ensured that any planting within the early phases of development do not conflict with future development phases and will not be detrimentally impacted by any later subsequent development.

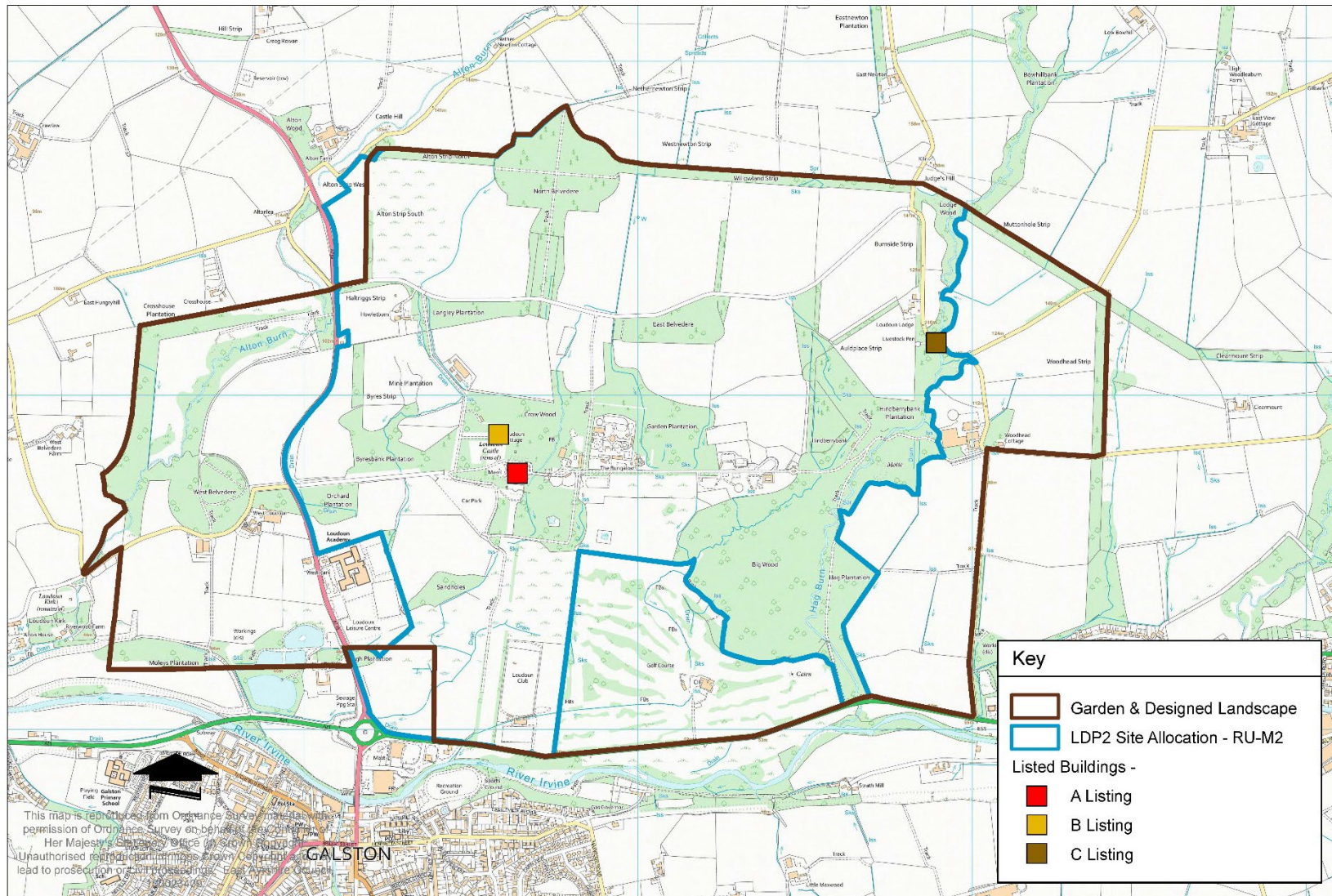
The Council acknowledge that there may be localised landscape effects. The concerns around this relate to the length of time in which the development may take, these localised landscape effects could be in place for 10-20 years potentially.

5.5. Listed Buildings & Structures

The site allocation RU-M2 contains several listed buildings and/or structures. Information relating to these are provided below.

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Figure 13 – Listed Buildings and Structures within RU-M2



5.5.1. Loudoun Castle ('A' Listed)

The Loudoun Castle is a Category A listed building, this designation includes: terraced bastion, Walled Garden, East Gatehouse and approach bridge, Wellhead (pond), Sundial, Commemorative Monument, Stable Court (coach house), ruinous cottages (to east of the walled garden and north-west of Loudoun Cottage).



Ruinous Loudoun Castle Estate (EAC 2024; PDA 2016/2017)

Castle Condition

There are very significant challenges to be faced within any consolidation, repair, and/or restoration scheme due to a combination of age, exposure to the elements, and the effect of the fire. Substantial areas of masonry have failed, whilst others exhibit endemic loss of the mortar matrix and severe structural movement. The remaining sections of the east tower and the south-eastern portions of the fabric gave particular cause for concern.



Ruinous Loudoun Castle Estate (PDA 2016/2017)

Requirements

- A scheme of consolidation works to the Castle
- A scheme of restoration works to the Garden and Designed Landscape, including all associated structures and elements
- Sufficiently detailed long-term maintenance arrangements relating to the castle ruins and restored garden and designed landscape

5.5.2. The Cottage ('B' listed)

'The Cottage', located to the north-west of the 'A' listed Loudoun Castle, is a 'B' listed building within RU-M2.

This was designated in July 1980.

The Cottage is a 19th century recasting of an earlier house. It is two storey in nature, with sash windows. The Cottage hosts Victorian bay windows on the ground floor. Internally, the building has a stone staircase which is possibly dated to the 18th century.



Figure 14 – The Cottage, Loudoun Castle Estate (Canmore; SC1650432)



The Cottage, Loudoun Castle Estate (EAC 2024)

5.5.3. Jocklan Bridge ('C' listed)



Figure 15 – Jocklan Bridge (general view),
Loudoun Castle Estate (Canmore; SC1859031)

'Jocklan Bridge', located along the northeastern edge of RU-M2, is a 'C' listed structure.

This was designed in July 1980.

Jocklan Bridge hosts a single stone arch with parapet, spanning the Hay Burn.

Requirements

- The applicant must assess the impact of the proposal on The Cottage and Jocklan Bridge.
- The applicant must be considerate of potential impacts on The Cottage and Jocklan Bridge and adopt a sensitive design and layout which mitigates significant detrimental impacts.
- The residential amenity of The Cottage must be retained and safeguarded.

5.5.4. Other considerations

Landscape and heritage elements falling outwith the designated area comprise:

- Loudoun Kirk, Category B
- Cessnock Castle (Category A) designed landscape and estate, specifically Loudoun Walk, Officer's Park, Grand Avenue and Sheerbull Woodland roundel.
- Waterside (farm), Category B
- Newton Law Belvedere
- East Newton, Category B (estate farmhouse)
- West Newton, Category B (estate farmhouse)
- Lodge Wood Limekiln
- Galston Mill and Galston Conservation Area.

The Roy Map of 1752-5 and Thomson's Atlas of 1832 imply that these sites, although outwith the statutory area for the Loudoun designed landscape, were part of earlier estate designs.

Although these sites would not be included within the application boundary, the proposal may impact on these surrounding areas given their significance to the overall historic design. Consideration should be given to potential impacts on wider heritage assets outwith RU-M2.

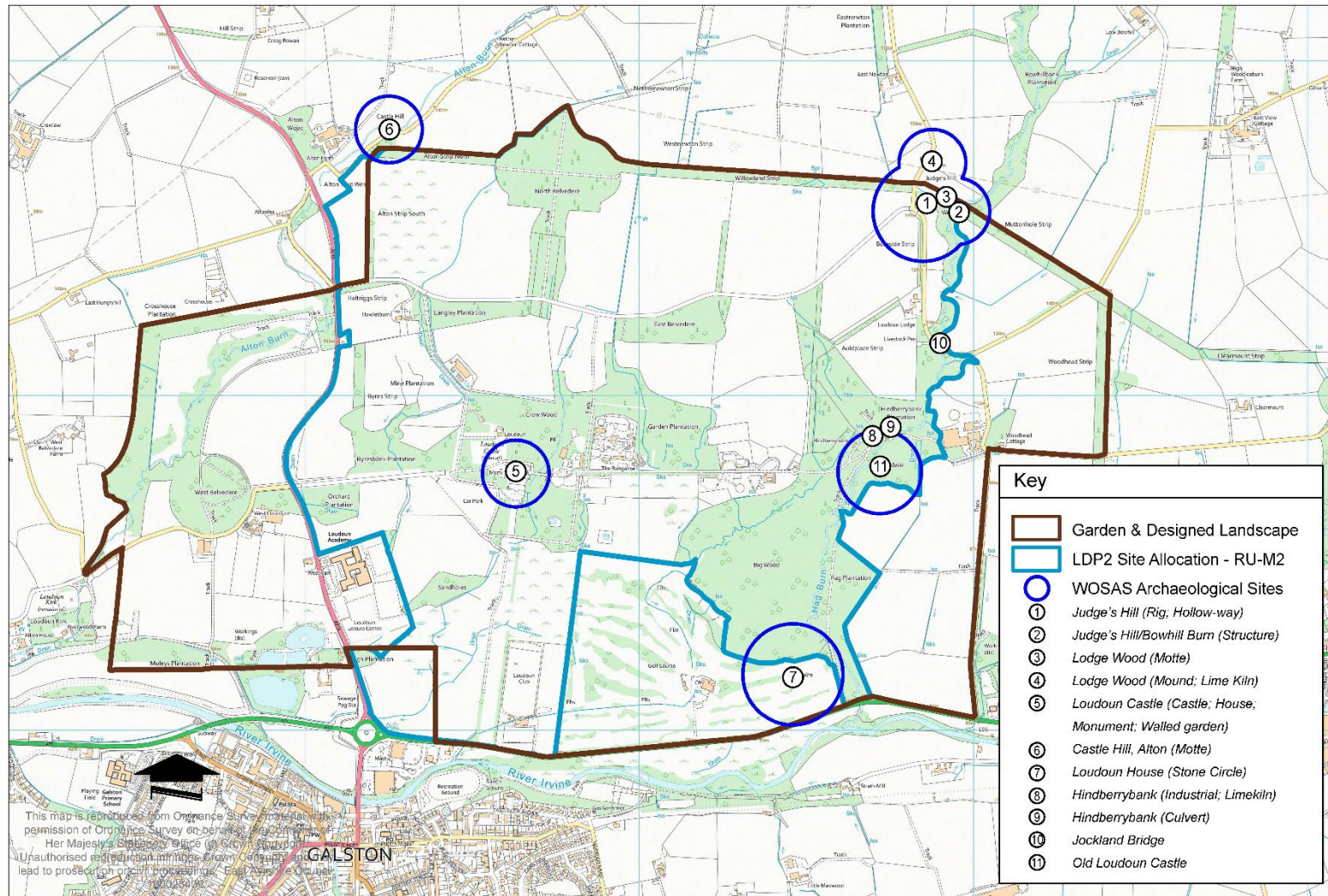
5.6. Archaeological Sites (WoSAS) and Scheduled Monuments

Early consultation and discussion with the WoSAS is recommended regarding the proposal and its potential impact on archaeological sites and monuments, as listed within Policy TOUR6, to ensure that the design (at full planning) is sensitive and appropriate.

- | | |
|---|--|
| <ul style="list-style-type: none">• Judge's Hill (Rig; Hollow-way)• Judge's Hill (Structure)• Bowhill Burn• Lodge Wood (Motte)• Lodge Wood (Mound; Lime Kiln)• Loudoun Castle (Castle; House; Monument; Walled garden) | <ul style="list-style-type: none">• Castle Hill, Alton (Motte)• Loudoun House (Stone Circle)• Hindberrybank (Industrial; Limekiln)• Hindberrybank (Culvert)• Jockland Bridge• Old Loudoun Castle, Hindberrybank / Old Castle of Loudoun |
|---|--|

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Figure 16 – Archaeological Sites and Monuments within RU-M2



6 Areas with Most Potential for Sensitive Development

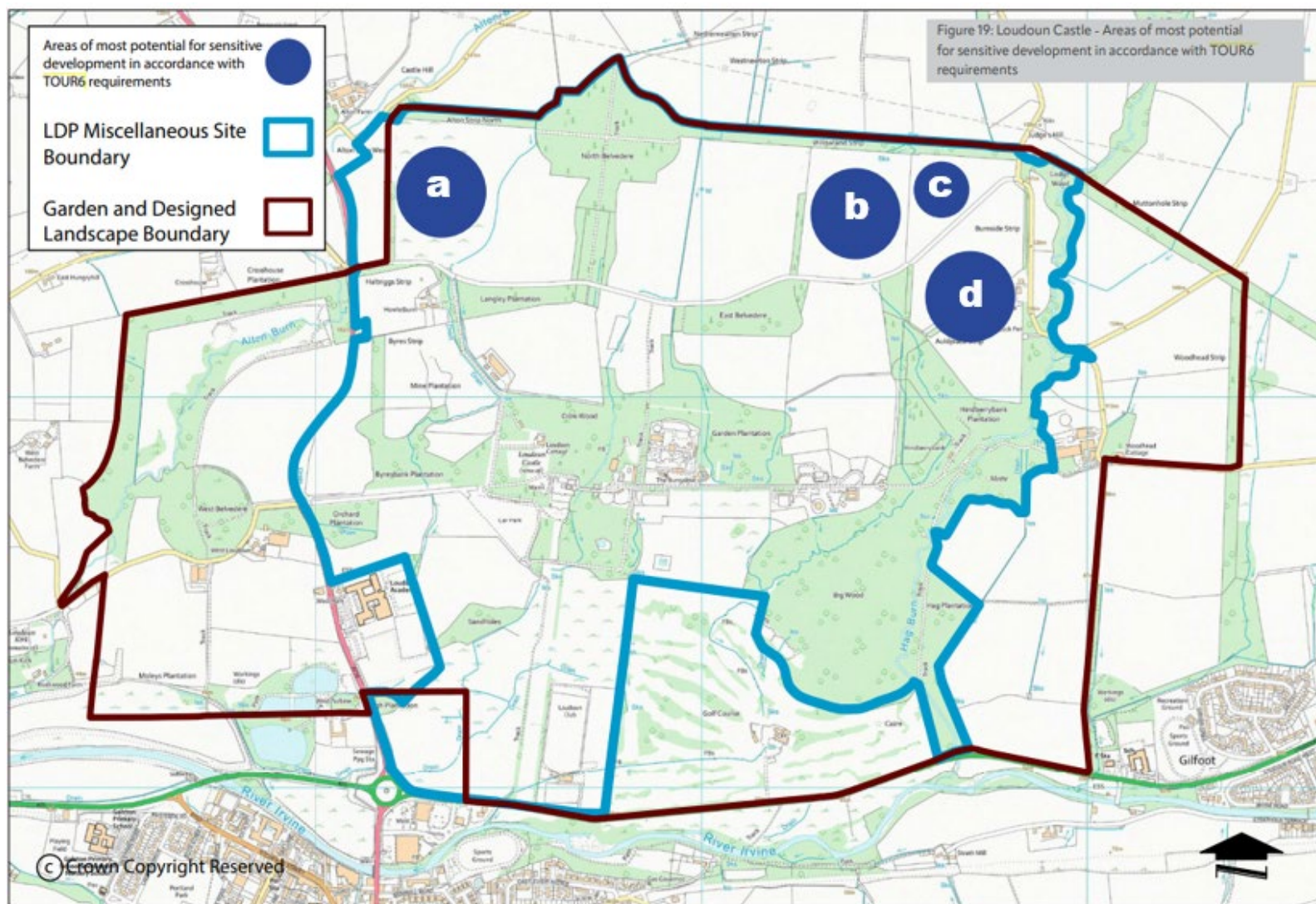
6. AREAS WITH MOST POTENTIAL FOR SENSITIVE DEVELOPMENT

TOUR6 identifies, within Figure 19, the areas with potential for sensitive development, in accordance with the requirements of TOUR6. These are areas which the Council consider to be the least constrained, within the RU-M2 miscellaneous allocation, but by no means constraint free. Careful consideration of all natural and heritage assets within the site are required with a sensitive design adopted.

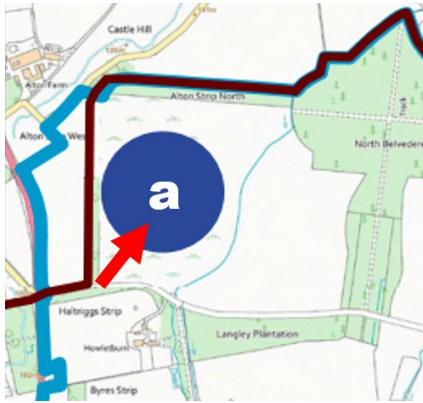
While the Council has been proactive in its approach, by identifying areas it considers to be the most appropriate for potential sensitive development, it the responsibility of the applicant to develop a proposal which meets the requirements of TOUR6.

The areas with the most potential for sensitive development are where the Council foresee development having the least impacts on the integrity of the site. Development which is extensive throughout the site is anticipated to have significant detrimental impacts on the nature conservation designations, inventory garden and designed landscape and wider views across the Irvine Valley. Any proposals must accord with the provisions of **Policy NE1: Protecting and Enhancing Landscape and Features**.

Figure 17 – Areas with most potential for sensitive development within RU-M2, with reference annotations for the purpose of this SG



A) Area with most potential for sensitive development



View looking north-east into area with most potential for sensitive development (a). Situated to the north-west corner of RU-M2.

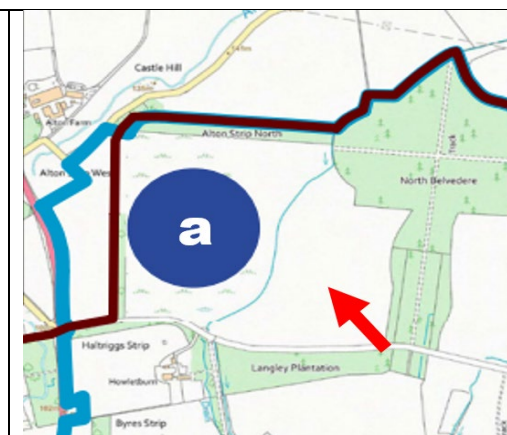


- Alton Strip South - Area of existing trees consists of a variety of species, including: Beech, Oak, Sycamore, Lime, Scots Pine and Ash. This is identified as an important planting belt within Figure 18 of TOUR6. This shelterbelt extends northwards half way through the area identified as having potential for sensitive development. Although RU-M2 extends further west, this shelterbelt represents the boundary of the Garden and Designed Landscape. The Council will be supportive of proposals which extend this shelterbelt, adding screening to the potential development area.
- The Council will be supportive of proposals which do not include structures and buildings to the west of the Alton Strip South and garden and designed landscape boundary in order to facilitate an area of screening to reduce the potential visual impact of any subsequent development.
- As illustrated above, there is a burn which extends south-west through the area. Consideration of flood risk should be integrated into design. The site is subject to surface water flooding (low-medium-high; present day). The site design will need to suit the 1:200 year plus climate change event level with a discharge rate limited to 4.5 litres/second/hectare.
- The area is undulating and any development on site will need to respect and reflect the topography.

- Design, scale and layout must take account of the landscape and wider views across the Irvine Valley (Policy NE1).



Panoramic view looking north into (a). Situated to the west of a key vista leading to North Belvedere.

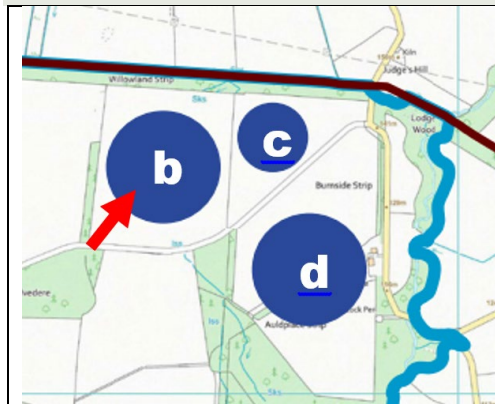


Panoramic view looking north-west into area adjacent to (a). Situated to the west of a key vista leading to North Belvedere and south-west of North Belvedere



- The Council will be supportive of proposals which retain a notable buffer area between (a) and north belvedere and its associated key vista which extends southwards.
- Subject to the finer detail, design, layout, visual and landscape impact assessment, there may be capacity for some development to the east of the burn illustrated above. However, a buffer area must be retained.
- Langley plantation, identified as ancient woodland 41 (object ID: 8977) in Figure 9, must be retained and its integrity safeguarded. This currently provides a screening function, alongside other environmental benefits. This is identified within TOUR6 Figure 18 as an important planting belt.
- Alton Strip North, North Belvedere and Willowland Strip are all identified as ancient woodland and important planting belts within TOUR6 Figure18 and must be retained, and their integrity safeguarded.

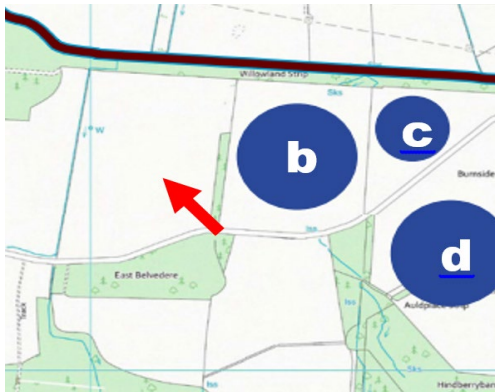
1. B) Area with most potential for sensitive development



View(s) looking north-east into area with most potential for sensitive development (b). Situated to the north-eastern corner of RU-M2 and to the east of North Bevedere.



- The area is undulating and any development on site will need to respect and reflect the topography.
- Willowland Strip (visible to the north in the photo) is identified as ancient woodland and important planting belts within TOUR6 Figure18 and must be retained and its integrity safeguarded.
- The conifer planting belt, shown to the left above, must be retained in the design of any proposal.
- The Council will be supportive of proposals which extend this planting belt northwards to further screen any potential development within area (b).
- Any proposal should take account of views from the wider landscape and south wards from the valley – visibility and prominence of any potential development will be a key consideration.

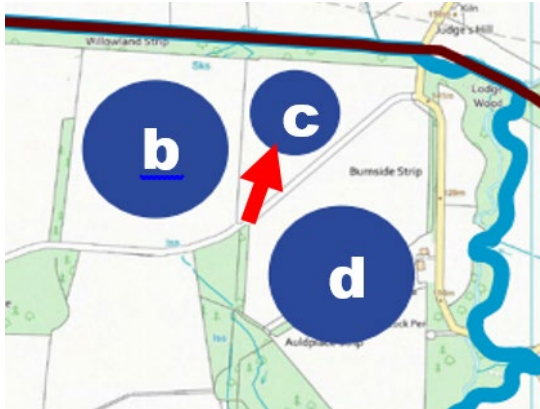


Panoramic view looking north-west into area adjacent to(b). Situated to the south-east of North Belvedere.

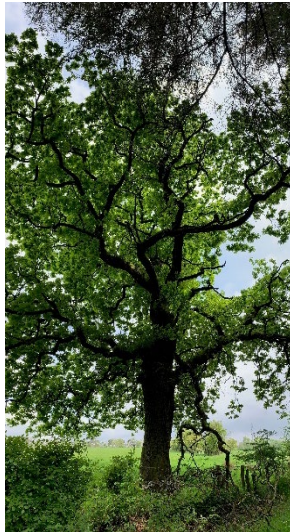


- Any proposals which extends west wards beyond conifer planting belt must be carefully planned in order to maintain the integrity of north-belvedere and designed landscape elements.
- Willowland Strip (visible to the north in the photo) is identified as ancient woodland and important planting belts within TOUR6 Figure18 and must be retained and its integrity safeguarded.
- The conifer planting belt, shown to the right above, must be retained in the design of any proposal.
- The Council will be supportive of proposals which extend this planting belt northwards to further screen any potential development within area (b).

C) Area with most potential for sensitive development

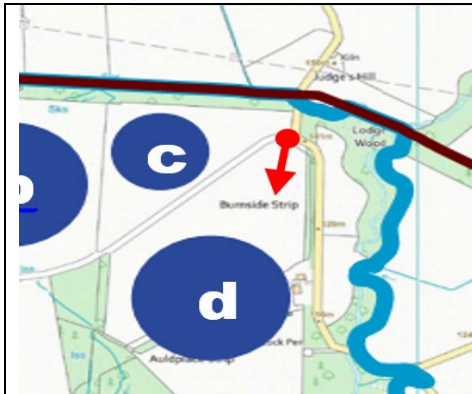


View(s) looking north-east into area with most potential for sensitive development (c). Situated to the north-eastern corner of RU-M2 and to the east of North Belevedere.



- Area (c) is bordered by hedgerow to the west, north and east. Where possible, hedgerow should be retained and infilled.
- A mature oak is located along the boundary edge – this should be retained and its root protection zone appropriately considered in accordance with BS 5837 (2012).
- Existing residential properties within Area (D) share a servitude right, but not exclusive right, to take a private water supply from the adjacent spring and access cannot be impinged, damaged or polluted. This is situated within Area (C) with supply pipe extending south-east to dwellings.

2. D) Area with most potential for sensitive development

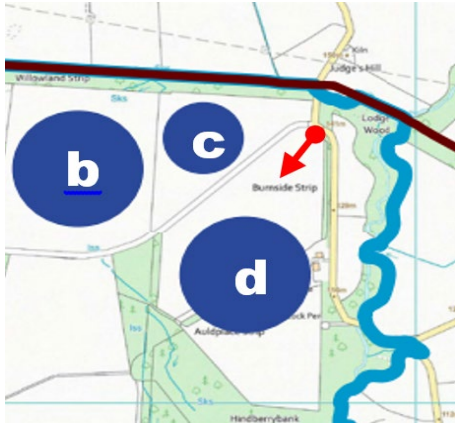


Panoramic view looking south into northern section of area with most potential for sensitive development (d).

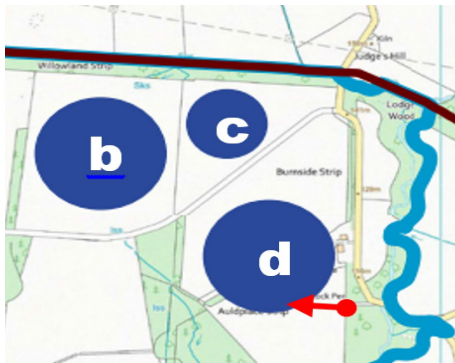


- Area (d) constitutes two separate notably scaled land parcels which are enclosed by established hedgerow to the east, west and south. Where possible, hedgerow should be retained and infilled in accordance with **Policy NE8: Trees, Woodlands, Forestry and Hedgerows**.
- The two separate land parcels must remain distinguishably separate and the existing screening to the south of the upper section retained to reduce the visual impact of the development.
- The area is undulating and any development on site will need to respect and reflect the topography in order to reduce the developments visual impact.
- To the east of area (d) are existing residential dwellings, it is vital that their privacy and amenity be safeguarded in accordance with the requirements of **Policy RES3: Residential Amenity**.
- Existing residential properties within Area (D) share a servitude right, but not exclusive right, to take a private water supply from the adjacent spring and access cannot be impinged, damaged or polluted. This is situated within Area (C) with supply pipe extending south-east to dwellings.

- Area (d) forms part of Loudoun Castle Woodlands and Waterside Local Nature Conservation Site and is bordered by ancient woodland. As such, any existing natural features such as trees and hedgerow should be retained in order to minimise detrimental impacts on biodiversity. The proposal must accord with the requirements of Policy **NE5: Protection of Areas of Nature Conservation Interest**.



Panoramic view looking south-west into northern section of area with most potential for sensitive development (d).



Panoramic view looking west into southern section of area with most potential for sensitive development (d).



Any development proposal will be expected apply and demonstrate application of **NatureScot's Mitigation Hierarchy** in terms of its location, layout and design. See Figure 18. This applies to the whole or the RU-M2 site.

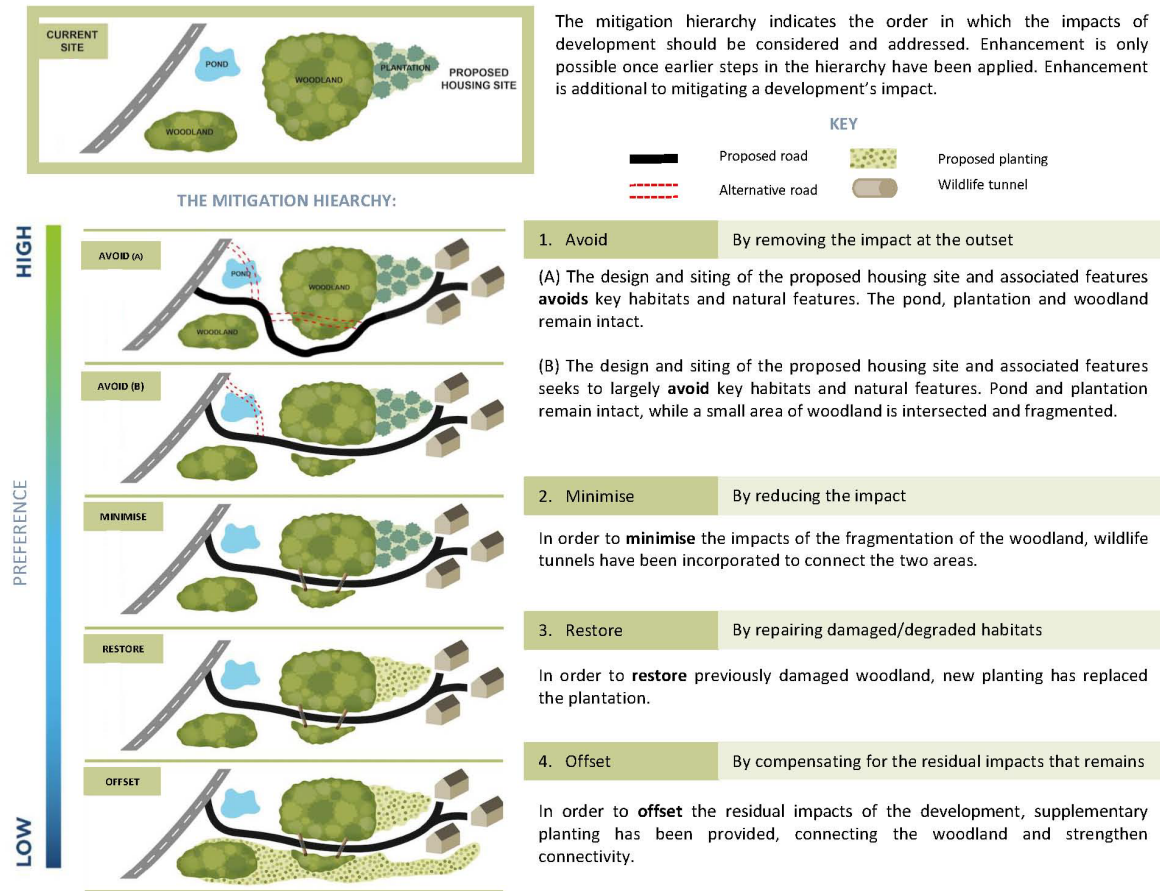


Figure 18 - Explanatory Mitigation Hierarchy

Proposals to develop RU-M2 should avoid key habitats and natural features in line with the [mitigation hierarchy](#).

7 Other Considerations

7. OTHER CONSIDERATIONS

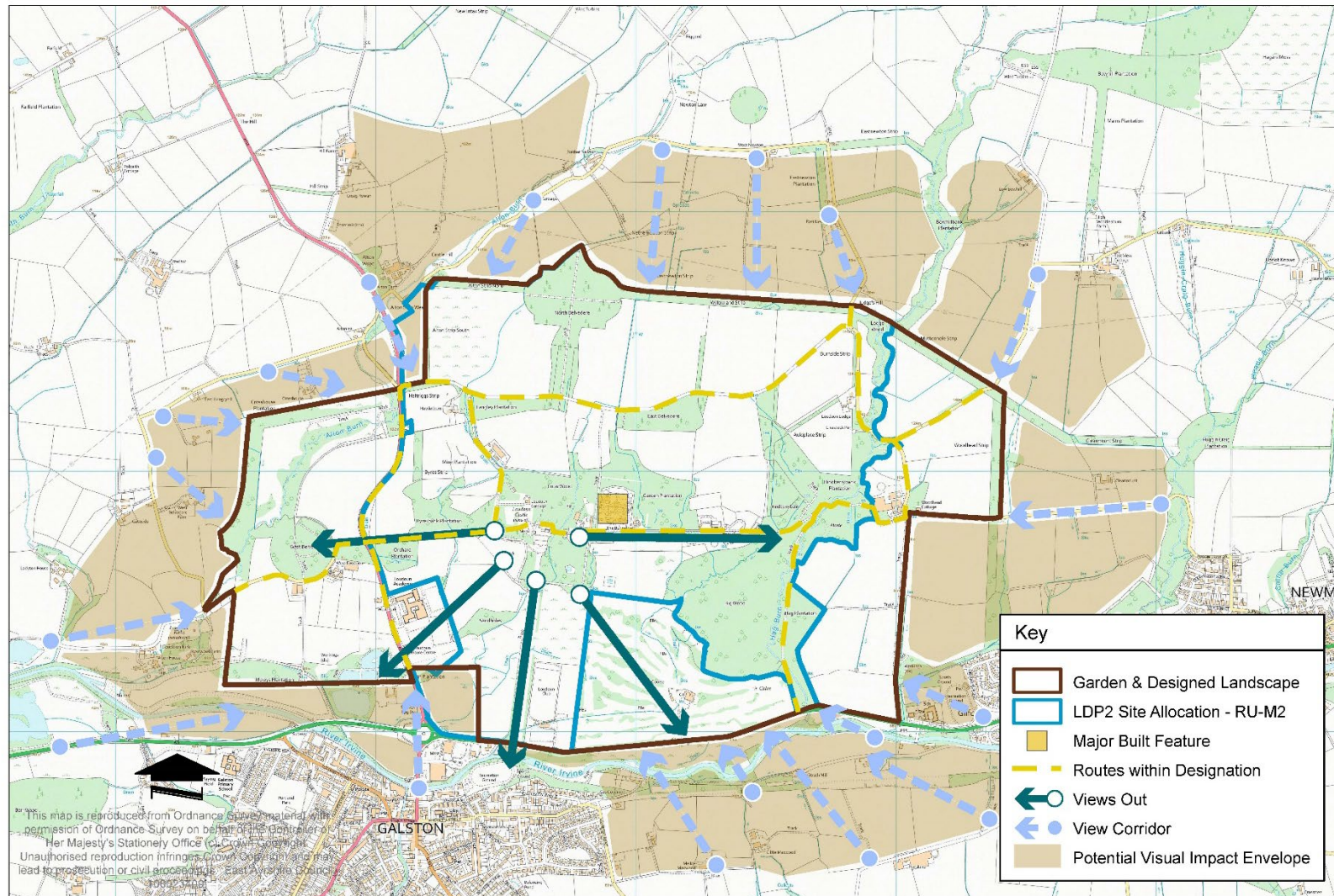
7.1. Key views in and out of Estate

Figure 19 is an indicative diagram which illustrates the key views corridors, views out of the site and the potential visual impact envelope of the site.

Any development within these expanded boundaries should adopt a precautionary approach to ensure that there is no adverse impact on the special architectural, historical and landscape character of the site. Particular regard should be given to key views from outwith and within the inventory garden and designed landscape, including elevated viewpoints to the south.

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Figure 19 – Potential visual impact envelope



Photos illustrating views and landscape features within RU-M2:

	
<p>View looking south from road access as annotated.</p>	
	
<p>View from field looking east towards East Belvedere and notable Oak, as annotated.</p>	
	
<p>View from access road looking east towards East Belvedere, as annotated.</p>	
	
<p>View looking south from field, as annotated. Galston is visible.</p>	



View looking south from central key vista as annotated.



View looking south-west from brownfield area to south of central key vista as annotated.



View looking north-west from central key vista towards walled garden as annotated.



View looking south-west from central key vista as annotated. TPO'd A10 is visible.



View looking south as annotated.





View looking south-east from the west of ancient woodland Orchard Plantation as annotated.



View looking south-east towards individual trees in field south of the walled garden as annotated.



View looking south towards Galston (Photo date: 21/05/2024)



View looking walled garden from central path through the RU-M2 site, to the east of Loudoun Castle (Photo date: 13/05/2024)



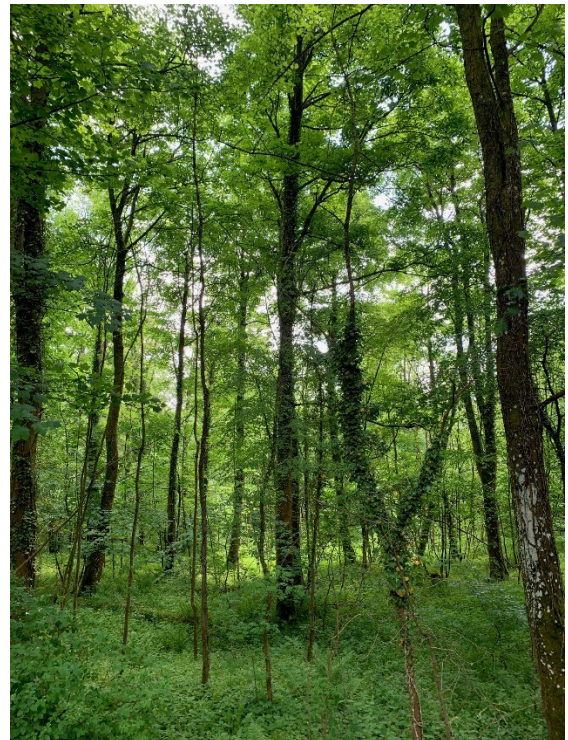
View looking south towards Loudoun Academy from the west of Orchard Plantation ancient woodland (Photo date: 21/05/2024)



View looking west towards Loudoun Castle through key view and designed tree avenue (Photo date: 21/05/2024)



View looking south towards Galston from Loudoun Castle through key view/vista (Photo date: 21/05/2024)



Ancient woodland (Photo date: 21/05/2024)

8

Appendices

8. APPENDICES

8.1. Appendix 1 – Policy TOUR6: Loudoun Castle Estate Garden and Designed Landscape

Policy TOUR6: Loudoun Castle Estate Garden and Designed Landscape

Promotion of Development Opportunity Site: Loudoun Castle

The opportunity site, which compasses parts of Loudoun Castle Estate, is of significant historic and cultural value. The site is promoted as a means to secure the setting of Loudoun Castle and safeguard the future of this asset, preventing future deterioration and ruination. The Estate has outstanding historical and scenic value, making a major contribution to the surrounding scenery by virtue of its size and pattern.

The Council is supportive of the sympathetic development of Loudoun Castle Estate, and the associated Garden and Designed Landscape, for tourism, leisure, tourist accommodation and associated purposes, to enable the long term retention and conservation of the heritage assets within the Estate and to diversify the local and regional economy. By supporting appropriate development in the Estate, the Council will enable a scheme of consolidation works to the Castle and scheme of restoration works to the Garden and Designed Landscape, including all associated structures and elements.

The proposed development must meet all the requirements set out below, as well as other relevant LDP2 policies including Policy HE5: Enabling Development, the associated Loudoun Castle and Estate Supplementary Guidance and Policy DES1: Development Design. Development proposals will be required to adhere with the principles of good placemaking and successful places, to ensure that development appropriately reflects the surrounding built and natural historic fabric, contributing positively to its heritage value, while creating an attractive, desirable and accessible development.

Hierarchy of Acceptable Uses

In order to secure the heritage value of Loudoun Estate and bring economic benefits to the area, the Council will support sympathetic and suitably scaled enabling development. All development within the site, as outlined within the hierarchy of acceptable uses below are considered to constitute and contribute to enabling development requirements.

There are a range of uses which are, in principle, deemed appropriate and acceptable by the Council on a hierarchical basis, as outlined below and in order of preference.

Loudoun Castle Estate, and associated garden and designed landscape, is being promoted for tourism, leisure and tourist accommodation purposes, for this reason the following uses are anticipated within development proposals:

1. Tourism and Leisure Facilities (including indoor and outdoor leisure and recreational facilities);

2. Tourist Accommodation:

- Hotel
- Holiday lodges
- Glamping units
- Campsites; and

3. Housing, as part of a mix of the above uses, with an appropriate scale of community facilities and ancillary uses to support any new community on site. Housing alone, without tourism and leisure development, is not supported.

Subject to the detail of any proposal, the Council might consider housing of an appropriate scale to be acceptable in order to bridge any outstanding conservation deficit gap. However, the primary purpose of the allocation is to bring significant economic and social benefit to the wider area while securing the long-term future of the Castle and associated garden and designed landscape. As such, housing could be incorporated into proposals to assist other uses in bridging the conservation deficit, but be as minimal a part of a mix of uses on site as possible (in juxtaposition with tourism and visitor accommodation facilities).

Conservation deficit

The conservation deficit must be fully justified on an “open book” basis. The conservation deficit calculation must be set out in full by using information contained in the proposed development’s business plan. Financial information must provide and demonstrate the minimum necessary scale of the enabling development which will be required in order to meet the conservation deficit. Any assumptions which are made should be based on direct market evidence. The business plan must be shared with the Council so that calculations can be verified.

Any conservation deficit must be quantified, taking into consideration the contribution that all of the development proposal (including the leisure and tourism uses) make to the calculation.

The proposed development should be commensurate to the deficit, i.e. it should not attempt to maximise the deficit in order to increase the amount of enabling development required.

Requirements for the Castle and Garden and Designed Landscape and other Heritage Assets

Any enabling development must be of a scale which the surrounding landscape, infrastructure and services can accommodate. Enabling development is required to secure:

- a scheme of consolidation for the Castle;
- a scheme of restoration for the Garden and Designed Landscape; and
- the protection of other site heritage assets.

The Council's expectations in terms of the restoration of the garden and designed landscape are set out within the associated Supplementary Guidance. The Council has outlined a prioritisation approach within the Guidance. This should be considered within all development proposals. The Council will not support development of a scale that causes unacceptable damage to the integrity of the Garden and Designed Landscape.

Interpretation

Any proposal should incorporate interpretation (e.g. signage, walking routes) so as to promote and educate about the historic and environmental importance of the site.

Site Assets

Any development within the boundaries of Loudoun Castle Estate, and associated Garden and Designed Landscape must adopt a precautionary approach in terms of design, scale and layout. The site has a wealth of historic (including archaeological) and environmental features, many of which are shown on Figure 18 below. The Council will not support any development which is likely to have significant adverse impacts on the nature conservation of the site or the landscape, historic and architectural character of the site. This includes key views and elevated viewpoints.

Any proposal should be sensitively designed and sited in order to preserve the character and setting of both historic and environmental assets, both built and natural, and enhance the site, bringing forwards conservation benefits. The Council will not support development which will have significant detrimental impacts on the following natural environment and historic asset features, unless appropriate mitigation and enhancement features are proposed:

Local Nature Conservation Sites

Loudoun Castle Woodlands & Waterside
Orchard Plantation & West Belvedere

Ancient Woodland

West Belvedere (site ID: 36)
Big Wood (Site ID: 47)
Muttonhole Strip (Site ID: 47)
North Belvedere (Site ID: 47)
Site ID: 38
Site ID: 40
Site ID: 41
Site ID: 43

Listed Buildings & Structures

Loudoun Castle ('A' Listed)
The Cottage ('B' listed) Jocklan Bridge ('C' listed)

Garden & Designed Landscape

Loudoun Castle Garden and Designed Landscape

Tree Preservation Orders

2007, Loudoun Castle Estate

Archaeological Sites and Monuments (WoSAS)

Judge's Hill (Rig; Hollow-way)

Judge's Hill (Structure)

Bowhill Burn

Lodge Wood (Motte)

Lodge Wood (Mound; Lime Kiln)

Loudoun Castle (Castle; House; Monument; Walled garden)

Castle Hill, Alton (Motte)

Loudoun House (Stone Circle)

Hindberrybank (Industrial; Limekiln)

Hindberrybank (Culvert)

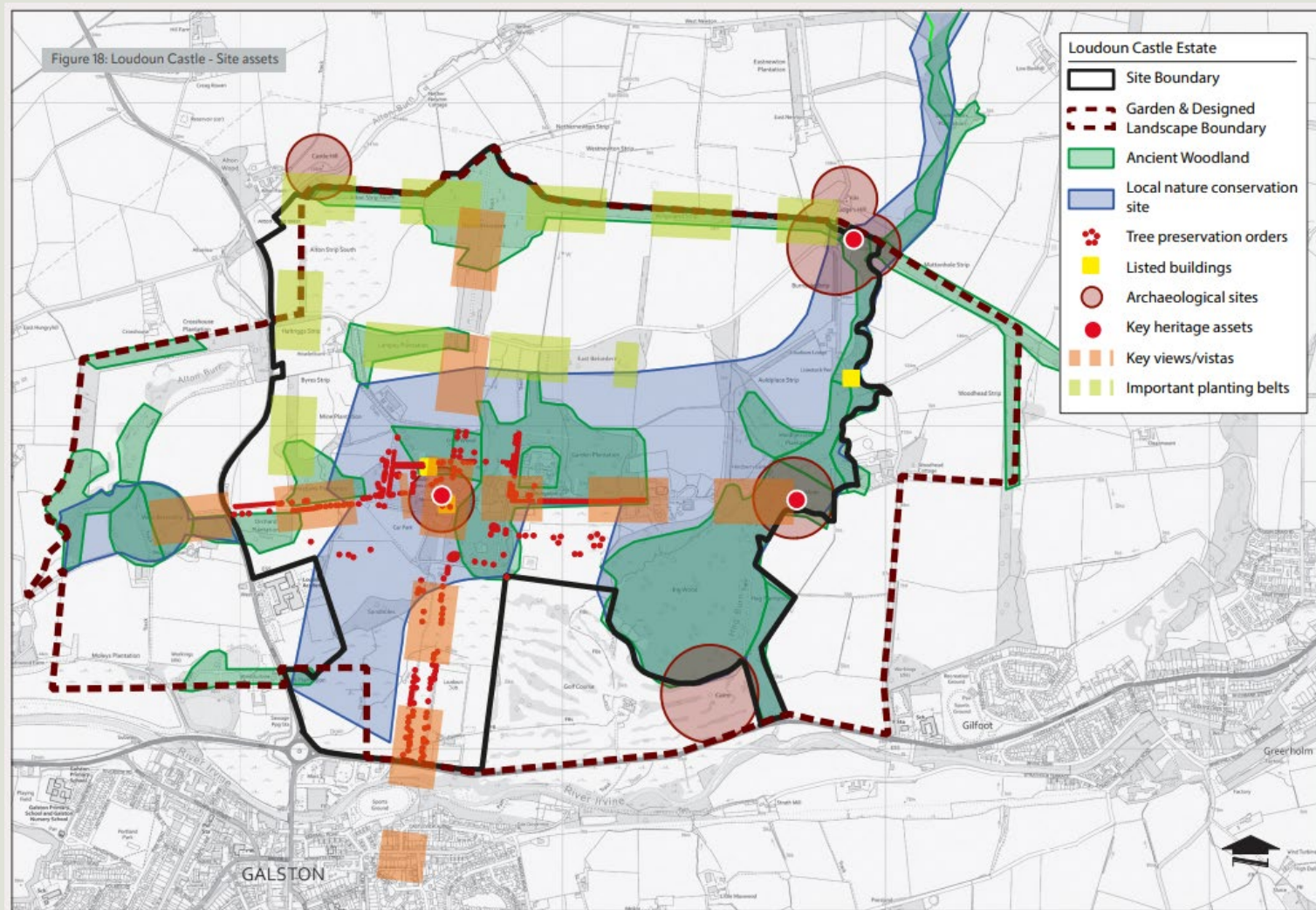
Jockland Bridge

Old Loudoun Castle, Hindberrybank / Old Castle of Loudoun

Note: This list is not exhaustive.

Further details of these assets are set out in the Loudoun Castle and Estate Supplementary Guidance.

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Application Requirements

It is recommended that early discussions are undertaken with the Council so that the requirements of this policy are fully understood and to ensure that appropriate communication is maintained at all times.

Given the scale of the site, and the complex development constraints, the Planning Authority will strongly encourage formal pre-application discussions of proposals prior to the lodgement of any associated planning applications. The Planning Authority strongly encourage a full planning application for the development of this site.

Further information on the application requirements is outlined within RU-M2, LDP Volume 2. This should be cross-referenced with the requirements of this policy.

Masterplanning

The Council requires a masterplan approach to be adopted for any potential development proposals for the site, prepared in line with PAN83: Master planning. This masterplan should fully reflect and respect the provisions of the Supplementary Guidance. A masterplan approach should be prepared/adopted at the earliest appropriate stage of the design process and should be supported by a sufficiently detailed development and funding appraisal.

The masterplan should take account of the site assets outlined within Figure 18 (above) and should ensure that development is planned and designed to avoid unacceptable negative impacts on the heritage assets. The Masterplan will be expected to appropriately reflect the areas with the most potential for development as per Figure 19 (below) and include

areas of open space, road layout, the drainage layout, a phasing plan and a design code. The Council will encourage the masterplan to be submitted for formal consideration prior to the lodgement of any associated planning applications with the Planning Authority.

Strong linkages with the existing communities of the Irvine Valley should be proposed, and proposed infrastructure should take account of the capacity of existing infrastructure in the local area, including roads, schools and health and social care facilities.

Phasing

A phasing plan should ensure that the scheme of consolidation for the Castle and the scheme of restoration works for the garden and designed landscape will begin prior to or in tandem with the commencement of any other aspect of development on site. The development of the tourism and leisure element will commence before the development of any housing that may be proposed. As development on site progresses, both the phasing plan and financial plan should ensure that the required schemes of consolidation and restoration works are planned concurrently with all other development on site. In accordance with Policy HE5: Enabling Development, a planning obligation to control the phasing of works across the overall development will be required.

Maintenance

Irrespective of the scale of restoration and consolidation, long term maintenance and management of Loudoun Castle and the associated Garden and Designed Landscape should be accounted for. The applicant is expected to appropriately address a sustainable arrangement for the long-term management of the site.

Official

Definitions to be referred to in relation to ***TOUR6: Loudoun Castle Estate Garden and Designed Landscape***

<p>Conservation Deficit</p>	<p>The conservation deficit is defined as the amount by which the cost of consolidation and restoration exceeds its market value. Within the context of Loudoun, the heritage asset is defined as the Castle itself and the Garden and Designed Landscape. The deficit is therefore the cost subsidy needed for the proposed works to facilitate the development (including works to the Castle and Garden and Designed Landscape) in order for it to be cost effective to the developer/owner.</p> <p>All development and proposed uses within the site should be considered and utilised to appropriately calculate an overall conservation deficit, and in turn calculate the minimum enabling development requirement.</p>
<p>Enabling Development</p>	<p>As outlined within Policy TOUR6, the proposal must accord with the requirements of Policy HE5: Enabling Development.</p> <p>Within the context of RU-M2: Loudoun Castle Estate, for clarity, all development within the site, as outlined within the hierarchical “mix of acceptable uses” section within Policy TOUR6 are considered to constitute and contribute to enabling development requirements, including the tourism, leisure and accommodation aspects, rather than simply housing.</p> <p>This premise is supported by the findings and conclusions (CIN-EAY-001) of the Reporters appointed by Scottish Ministers for the planning permission in principle application recommended for refusal (15/0676/PPP) by East Ayrshire Council.</p> <p>The requirement for enabling development on site must be accompanied by a detailed business plan and financial information, to support and demonstrate how the enabling development will fund the heritage asset. As such, all relevant information should reflect, and identify, not only the conservation deficit, but also demonstrate development viability. In accordance with Policy HE5: Enabling Development, the requirement for enabling development must be properly quantified to provide proof that an overall conservation deficit exists and what that deficit is.</p>
<p>A scheme of restoration works</p>	<p>Policy TOUR6 makes reference to the term “restoration” throughout. This “restoration” relates only to the Garden and Designed Landscape.</p> <p>Discussions will be held between the prospective developer and the Council to determine the best balance between restoration priorities and the impacts of interventions that are enabling those</p>

	<p>works. These will be discussed and assessed on a case by case basis.</p> <p>The restoration priorities for the garden and designed landscape are set out within Supplementary Guidance.</p>
A scheme of consolidation works	<p>All proposals will be expected to incorporate detailed plans (and financial information) concerning the consolidation of Loudoun Castle.</p> <p>Consolidation, for the purposes of Policy TOUR6, is defined as taking action to re-instate or re-inforce the castle walls that remain on site. The works should be necessary to maintain the asset in a stable condition and to prevent further deterioration of the fabric.</p>

Official

8.2. Appendix 2 - List of Applicable Policies

The Council have outlined a list of potentially applicable LDP2 policies, subject to the content of any subsequent proposal.

Please note: This list may not be exhaustive and is dependent on the finer detail of an application.

	Policy
	Spatial Strategy
SS1	Climate Change
SS2	Overarching Policy
SS3	Central Scotland Green Network
SS4	Development of Vacant and Derelict Land
SS11	Skills & Employment
	Place and Environment – Urban Design and Placemaking
DES1	Development Design
LPP2	Development within a Local Place Plan area
OS1	Green and Blue Infrastructure
PLAY1	Play Provision
	Place and Environment – Historic Environment
HE1	Historic Environment
HE3	Scheduled Monuments, Historic Battlefields and other Archaeological and Historic Environment Assets
HE4	Gardens and Designed Landscapes
HE5	Enabling Development
	Place and Environment – Natural Environment
NE1	Protecting and Enhancing Landscape and Features
	Place and Environment – Nature Conservation, Biodiversity & Geodiversity
NE4	Nature Crisis
NE5	Protection of Areas of Nature Conservation Interest
NE6	Vulnerable, Threatened and Protected Species
NE8	Trees, Woodland, Forestry and Hedgerows
NE9	Woodland Creation
NE11	Soils
	Environmental Protection
NE12	Water, Air, Light and Noise Pollution
NE13	Contaminated Land
	Communities and Housing
RES1	New Housing Development
RES2	Affordable Housing
RES3	Residential Amenity
RES4	Compact Growth
RH5	Rural Housing Development

	Economy and Employment
TOUR1	Tourism Development
TOUR2	Tourism Accommodation
TOUR3	Rural Sporting, Leisure and Recreational Activities
TOUR6	Loudoun Castle Estate Garden and Designed Landscape
	Infrastructure
INF1	Infrastructure First
INF2	Installation of Fibre Broadband for New Developments
INF3	Installation of Digital Communications Infrastructure
INF4	Developer Contributions
T1	Transport Requirements in new development
T3	Development and Protection of Core Paths and Other Routes
T4	Charging Infrastructure for electric vehicles
	Energy, Resources and Resilience
RE1	Renewable Energy
RE3	Low and Zero Carbon Buildings
WM1	Waste Management in New Development
WM2	Development & the Circular Economy
CR1	Flood Risk Management
CR2	Emissions

8.3. Appendix 3 – Strategic Environmental Report Mitigation Requirements

Environmental Topic	Mitigation Significant impacts on environmental topic
Natural Features	<ul style="list-style-type: none"> The Plan contains a robust policy framework which safeguards landscape and protects important landscape features from detrimental impacts of development (NE1, NE4, NE5 and NE8).
	<ul style="list-style-type: none"> Policy HE4 specifically protects gardens and designed landscapes, including their immediate surroundings and setting. Any subsequent proposal will need to accord with the requirements of this policy, alongside Policy TOUR6. Potential significant negative impacts on landscape must be reduced and mediated; key views, avenues and vistas must be maintained and retained within the proposal design. The Plan (Volume 2) outlines where the landscape has the most capacity for sensitive development that accords with the requirements of TOUR6. Should this be adhered to within proposals then potential detrimental impacts across the site will be reduced, as development would be located within the least constrained areas of RU-M2. Important planting belts must be retained and appropriately maintained in perpetuity. Proposals should utilise and expand on existing public transport and active travel networks in order to reduce potential GHG emissions and integrate RU-M2 with its surroundings.

	<ul style="list-style-type: none"> Where appropriate, proposals should utilise low carbon solutions into the development, in accordance with the Plans policy framework, specifically Policy RE3.
	<ul style="list-style-type: none"> Development of the site should try to ensure that as many of the trees as possible are retained.
	<ul style="list-style-type: none"> Where trees are lost as a result of this development, the design of the development should add new natural landscape features, including trees and other natural planting throughout the development to create a sense of place and also encourage new forms of green infrastructure which will have a positive impact in terms of landscape character and biodiversity, habitat networks to offset loss and appropriately reflect the historic design of the site.
	<ul style="list-style-type: none"> The developer will be required to investigate the flooding issues further and contact SEPA at an early stage to formulate any flood mitigation measures that may be required. It is not possible to predict what the impact after mitigation will be as SEPA's advice and mitigation requirements are unknown.
	<ul style="list-style-type: none"> It should be ensured that the site is as accessible as possible, directly linking to and expanding existing cycling and walking routes, providing direct, easy, segregated and safe links to local facilities and amenities in accordance with NPF4 (Policy 13).
	<ul style="list-style-type: none"> Development of the site should use zero carbon materials and construction methods and should embrace renewable energy methods to minimise carbon emissions.
	<ul style="list-style-type: none"> Once developed, the site should be monitored for any increases in air pollution which would lead to national air quality standards being breached.
	<ul style="list-style-type: none"> All existing ancient and semi-natural woodland must be retained and incorporated into the design of the development, contributing positively to the landscape framework and green network on site.
Natural Resources	<ul style="list-style-type: none"> It should be ensured that the site is as accessible as possible, directly linking to and expanding on existing cycling and walking routes, providing direct, easy, segregated and safe links to local facilities and amenities in accordance with NPF4 (Policy 13)
	<ul style="list-style-type: none"> Existing core paths/rights of way which intersect the site should be retained and expanded.
	<ul style="list-style-type: none"> Development of the site should use zero carbon materials, construction methods and should embrace renewable energy methods to minimise carbon emissions.
	<ul style="list-style-type: none"> The Plan contains a robust policy framework (DES1, NE12 and CR1) which protects the water environment and manages flood risk.
	<ul style="list-style-type: none"> In accordance with Policy CR1: Flood Risk Management, the council will support development proposals which create, expand and enhance natural flood management techniques and incorporate sustainable urban drainage systems into the site.
	<ul style="list-style-type: none"> Developer(s) should contact SEPA regarding the development of this site in order to appropriately address the flood risk experienced.
	<ul style="list-style-type: none"> The Plan contains a robust and effective policy framework which safeguards soil quality, including agricultural land (NE10 and NE11).
	<ul style="list-style-type: none"> The Plan also contains Policy NE13 which promotes the treatment and/or removal of contaminated land. If the site is developed, it is expected that areas of contaminated land will be treated and/or removed in accordance with policy. If this is the case then impacts on soil will no longer be positive/negative in nature.
	<ul style="list-style-type: none"> Once developed, the site should be monitored for any increases in air pollution which would lead to national air quality standards being breached.

	<ul style="list-style-type: none"> Nature-based solutions (including green roofs and SuDS) should be integrated into proposals and also form part of the green network.
Historic Environment	<ul style="list-style-type: none"> In accordance with Policies TOUR6 and HE5: Enabling Development, the development should result in the consolidation and stabilisation of the castle remains (not necessarily its re-use), in order to minimise the necessary scale of associated enabling development required to bridge the conservation deficit.
	<ul style="list-style-type: none"> Careful consideration should be given to all cultural and natural heritage assets, which should be retained and improved within the site in accordance with all relevant policies (HE1, HE3, HE4, NE1, NE4, NE5 and NE8).
	<ul style="list-style-type: none"> The Plan outlines where the landscape has the most capacity for sensitive development in accordance with the requirements of TOUR6. This excludes areas/sites of archaeological interest. Should this be adhered to within proposals then potential detrimental impacts will be reduced.
	<ul style="list-style-type: none"> The Plan also contains Policy HE3 which protects archaeological sites from the potentially detrimental impacts of developments.
	<ul style="list-style-type: none"> All existing ancient and semi-natural woodland must be retained and incorporated into the design of the development, contributing positively to the landscape framework and green network on site.
Social Environment	<ul style="list-style-type: none"> Developments must utilise, where appropriate, zero carbon technologies in order to reduce greenhouse gas emissions and improve energy efficiency (Policy RE3).
	<ul style="list-style-type: none"> New developments should integrate, provide and enhance public transport networks with bus stops to ensure that sustainable transport is integrated into the new development in accordance with the requirements of T1 and NPF4 Policy 13.
	<ul style="list-style-type: none"> It should be ensured that new developments, particularly those residential in nature, provide and enhance areas of public open space and recreational facilities in accordance with the requirements of DES1, OS1 and Schedule 1.
	<ul style="list-style-type: none"> In accordance with Policy T2: 20-Minute Neighbourhoods, development proposals must contribute to local living and the principle of 20 minute neighbourhoods, ensuring access to services, facilities and shops with strong linkages. This will be an important consideration, aiming to avoid an isolated, poorly connected development.
	<ul style="list-style-type: none"> It should be ensured that the landscape and infrastructure can accommodate the number of residential units contained within the site, in accordance with TOUR6, this should form a minimal part of a mix of other uses as outlined within the hierarchy.
	<ul style="list-style-type: none"> Core paths and Rights of Way should be retained and expanded. Development should not result in the removal or alteration of these routes.
	<ul style="list-style-type: none"> Once developed, the site should be monitored for any increases in air pollution which would lead to national air quality standards being breached.
	<ul style="list-style-type: none"> It should be ensured that the site is as accessible as possible, directly linking to and expanding existing cycling and walking routes providing direct, easy, segregated and safe links to local facilities and amenities in accordance with NPF4 (Policy 13).

8.4. Appendix 4 – RU-M2 Volume 2 Developer Requirements

Developer requirements (general):

- **SW** - Developers are encouraged to engage with Scottish Water at the earliest opportunity to discuss the needs of their development.
- **FL** - The site may be subject to risk of flooding. Early contact with SEPA and the Ayrshire Roads Alliance Flooding Officer is recommended.
- **ME** - The developer of the site must provide the mitigation and/or enhancement measures contained within the Environmental Report.
- **TS** - The developer must submit a Transport Statement demonstrating that suitable access to the site can be achieved.
- **TA** - The developer must submit a Transport Assessment in respect of any detailed development proposals for the site.
- **DS** - The developer must prepare a design statement in line with Planning Advice Note 68: Design Statements.

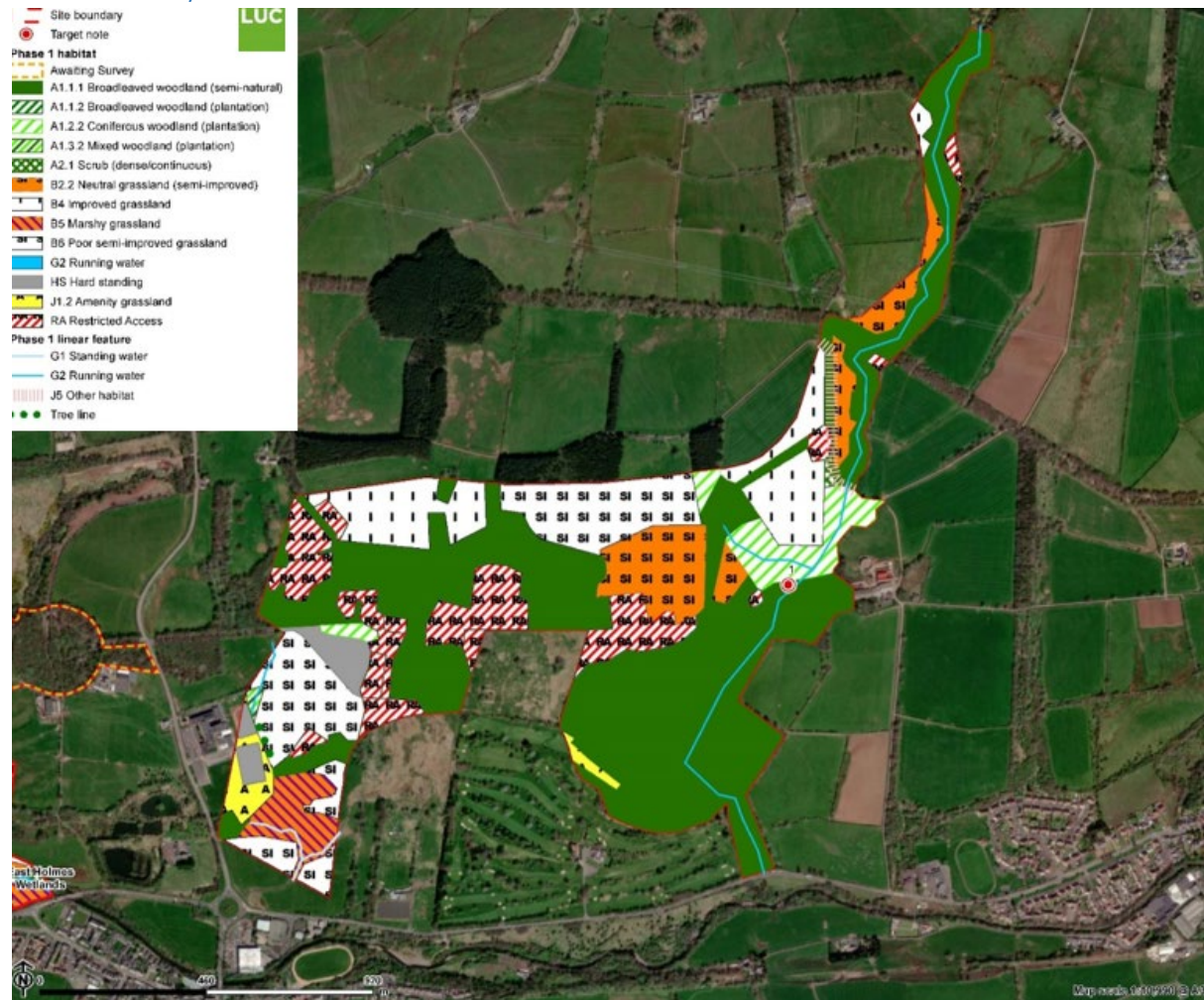
Developer Requirements (site specific):

- Development proposals will be undertaken in conformity with Policy TOUR5 Loss of tourist facilities, Policy TOUR6 Loudoun Castle Estate Garden & Designed Landscape and forthcoming Supplementary Guidance to detail requirements for development within the Loudoun Castle Estate.
- It is recommended that early discussions are undertaken with the Council so that the requirements of Policy TOUR5, Policy TOUR6 and forthcoming Supplementary Guidance are fully understood and to ensure that appropriate communication is maintained at all times.
- The Planning Authority strongly encourages formal pre-application discussions of proposals prior to the lodgement of any associated planning applications.
- The Planning Authority strongly encourages a full planning application for the development of this site.

Note:

- Before the submission of any application, an EIA screening request should be submitted to the planning authority. The information supplied must be sufficient to enable the planning authority to adopt a screening opinion.
- A Listed Building Consent will be required.

8.5. Appendix 5 – Loudon Castle Woodlands and Waterside LNCS Phase 1 Habitat Survey



8.6. Appendix 6 – Tree Preservation Order, 2007, Loudoun Castle Estate

		Individual trees:
No. On Map	Description	Situation
T1 – T3 T4	Limes Oak	Trees situated on southern side of entrance drive to Loudoun Castle which trees form part of the subjects registered in the Land Register under title number AYR34813.
T5 – T9	Limes	Trees situated on northern side of entrance drive to Loudoun Castle which trees form part of the subjects registered in the Land Register under title number AYR34813.
T24 – T26 T27 & T28	Yews Limes	Trees situated on west side of avenue running north from entrance gates to park which trees form part of the subjects registered in the Land Register under title number AYR34813.
T10 T11 T12 T13 T14 T15 T16 T17 T18 T19	Sycamore Oak Horse Chestnut Oak Sycamore Ash Horse Chestnut Oak Sycamore Horse Chestnut	Trees situated on southern side of entrance drive to Loudoun Castle which trees form part of the subjects registered in the Land Register under title number AYR34813.
T20 T21 T22 T23	Sycamore Beech Sycamore Sweet Chestnut	Trees situated on north side of entrance drive to Loudoun Castle at entrance gates to park which trees form part of the subjects registered in the Land Register under title number AYR34813.
T24 – T26 T27 & T28	Yews Limes	Trees situated on west side of avenue running north from entrance gates to park which trees form part of the subjects registered in the Land Register under title number AYR34813.
T29	Lime	Tree situated on east side of avenue running north from entrance gates to park at junction of avenue with back road to Loudoun Cottage which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T30 T31	Sycamore Elm	Tree situated on south side of entrance gates to park which tree forms part of the subjects registered in the Land Register under title number AYR34813.

T32	Oak	Tree situated on west side of avenue running north from entrance gates to park which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T33 & T34 T35 T36 T37 T38 T39 & T40	Horse Chestnut Birch Sweet Chestnut Birch Douglas Fir Limes	Trees situated in parkland south west of Loudoun Cottage and north of driveway to Loudoun Castle which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T41 – T43	Yews	Trees situated north west of Loudoun Castle which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T44 & T45	Yews	Trees situated immediately south of Loudoun Castle which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T46	Horse Chestnut	Tree situated north east of Loudoun Castle which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T47 – T67	Limes	Trees forming residual avenues north of Loudoun Castle which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T68 – T70	Yews	Trees situated on western side of avenue west of former walled garden which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T71 – T75	Yews	Trees situated south of former walled garden which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T76 & T77 T78 – T80 T81 & T82 T83 & T84 T85 – T87 T88	Beech Sycamore Oak Beech Sycamore Beech	Trees situated in parkland to south east of Loudoun Castle which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T89 – T91	Yews	Individual trees situated within woodland south east of Loudoun Castle which tree forms part of the subjects registered in the Land Register under title number AYR34813.

T92	Yew	Which individual tree situated within woodland south east of Loudoun Castle which trees form part of the subjects known as and forming Loudoun Gowf Club being part and portion of ALL and WHOLE that area of more particularly described in and disposed by Disposition by Lady Jean Campbell and another in favour of the Trustees of Loudoun Gowf Club recorded in the Division of the General Register of Sasines applicable to the Country of Ayr on Twenty first May Nineteen hundred and sixty five.
T93 – T96	Yews	Individual trees situated within woodland south east of Loudoun Castle which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T97 – T100 T101	Limes Oak	Trees situated within parkland south west of Loudoun Castle which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T102 T103 – T105	Lime Beech	Trees situated just west of Gran Avenue which tree forms part of the subjects registered in the Land Register under title number AYR34813.
T106 & T107 T108 T109 T110 T111 T112 T113 T114 & T115 T116 & T117 T118 T119 T120 T121 & T122 T123 & T124 T125 T126 T127 T128 T129 & T130	Limes Sycamore Beech Lime Beech Sycamore Beech Sycamore Limes Beech Sycamore Beech Limes Sycamore Lime Sycamore Lime Sycamore Limes	Trees forming eastern component of Grand Avenue which tree forms part of the subjects registered in the Land Register under title number AYR34813.

T131 T132 – T134 T135 & T136 T137 T138 & T139 T140 T141 T142 T143 – T147 T148 & T149 T150 & T151 T152 – T154 T155 T156 T157 T158 T159 T160 – T163 T164 – T166	Oak Limes Oaks Beech Sycamore Lime Sycamore Birch Limes Sycamore Beech Limes Sycamore Lime Sycamore Limes Sycamore	Trees forming eastern component of Grand Avenue which tree forms part of the subjects registered in the Land Register under title number AYR34813.
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Groups of trees:		
No. On Map	Description	Situation
G1	Group of Beech & Sycamore trees	Group of trees situated just west of junction of driveway to Loudoun Castle and avenue running north from behind entrance gates to park which group of tree forms part of the subjects registered in the Land Register under title number AYR34813.
G2	Group of sycamore trees	Group of trees on west side of avenue running north from behind entrance gates to park which group of tree forms part of the subjects registered in the Land Register under title number AYR34813.
G3	Group of sycamore trees	Group of trees on west side of avenue running north from behind entrance gates to park v.
G4	Group of Birch, Oak and Sycamore trees.	Group of trees just east of junction of driveway to Loudoun Castle and avenue running north from behind entrance gates to park which group of tree forms part of the subjects registered in the Land Register under title number AYR34813.

G5	Group of Sycamore trees	Group of trees situated on northern side of driveway to Loudoun Castle, between entrance gates to park and castle which group of tree forms part of the subjects registered in the Land Register under title number AYR34813.
G6	Group of Yew trees	Group of trees situated north of Gran Avenue which group of tree forms part of the subjects registered in the Land Register under title number AYR34813.
G7	Group of Yew trees	Group of trees situated within general woodland south of visitor centre which group of tree forms part of the subjects registered in the Land Register under title number AYR34813.
G8	Group of Sycamore trees	Group of trees forming part of western component of Grand Avenue which group of tree forms part of the subjects registered in the Land Register under title number AYR34813.

		Areas of trees:
No. On Map	Description	Situation
A1	Area of Lime, Beech, Sycamore, Holly, Birch and Oak trees	Area of trees along north side of entrance drive to Loudoun Castle which area of trees form part of the subjects registered in the Land Register under title number AYR34813.
A2	Area of Beech, Sycamore, Elm, Horse Chestnut and Oak trees	Area of trees along south side of entrance drive to Loudoun Castle which area of trees form part of the subjects registered in the Land Register under title number AYR34813.
A3	Area of Lime trees	Area of trees along part of eastern side of avenue running north from behind entrance gates to park, and along south side of avenue running east to Loudoun Cottage which area of trees form part of the subjects registered in the Land Register under title number AYR34813.
A4	Area of Lime trees	Area of trees along part of eastern side of avenue running north from behind entrance gates to park, and along north side of avenue running east to Loudoun Cottage which area of trees form part of the subjects registered in the Land Register under title number AYR34813.
A5	Area of Lime trees	Area of trees along part of western side of avenue running north between visitor centre and former walled garden which area of trees form part of the subjects registered in the Land Register under title number AYR34813.

A6	Area of Lime trees	Area of trees along lower part of eastern side of avenue running north between visitor centre and former walled garden which area of trees form part of the subjects registered in the Land Register under title number AYR34813.
A7	Area of Lime trees	Area of trees along eastern side of avenue running north along western side of former walled garden which area of trees form part of the subjects registered in the Land Register under title number AYR34813.
A8	Area of Lime trees	Area of trees west of avenue running north along western side of former walled garden which area of trees form part of the subjects registered in the Land Register under title number AYR34813.
A9	Area of Lime trees	Area of trees west of avenue running north along western side of former walled garden which area of trees form part of the subjects registered in the Land Register under title number AYR34813.
A10	Area of Maple, Ash and Sycamore trees	Area of trees along southern side of avenue running to south of former walled garden which area of trees form part of the subjects registered in the Land Register under title number AYR34813.
A11	Area of Sycamore, Ash and Oak trees	Area of trees along southern side of avenue running to south of former walled garden and plantation which area of trees form part of the subjects registered in the Land Register under title number AYR34813.